



Environmental Planning Commission

Agenda Number: 2
Project #: 2019-002807
Case #: 2019-00297
October 10, 2019

Staff Report

Agent	Sunset Memorial Park
Applicant	Sunset Memorial Park
Request	Site Plan-EPC
Legal Description	All or a portion of Tract 1 Plat of Tracts 1 & 2 Sunset Memorial Park
Location	924 Menaul Blvd. NE, between Edith Blvd. NE and I-25
Size	Approximately 40 acres
Existing Zoning	NR-SU, Non-Residential Sensitive Use

Staff Recommendation

APPROVAL of

Project #2019-002807, Case # SI-2019-00297, based on the Findings and subject to the Conditions of Approval within this report.

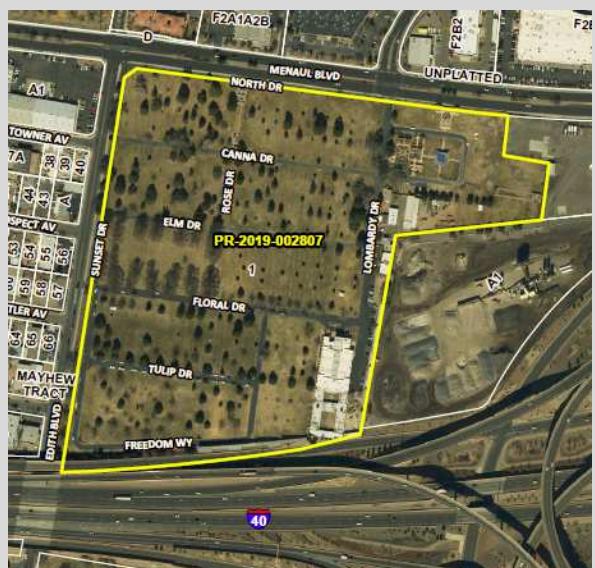
*Staff Planner
Linda Rumpf*

Summary of Analysis

This request is for approval of a Site Plan-EPC for an approximately 40 acre site known as Sunset Memorial Park (SMP) (924 Menaul Blvd. NE). The applicant proposes a Site Plan that will allow for incremental improvements. This comprehensive, longer-term plan will guide future growth and allow SMP to provide sustainable cemetery improvements on the remaining undeveloped land at SMP. Incremental improvements proposed in the Site Plan will continue the cemetery-only land use and SMP's commitment to provide the community with vital cemetery and funeral home facilities, services, and resources.

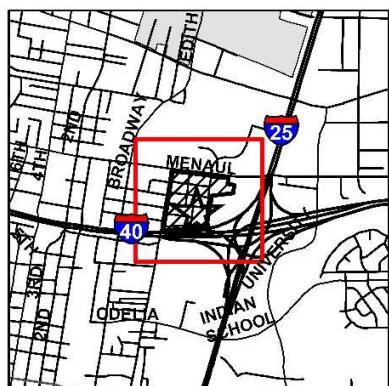
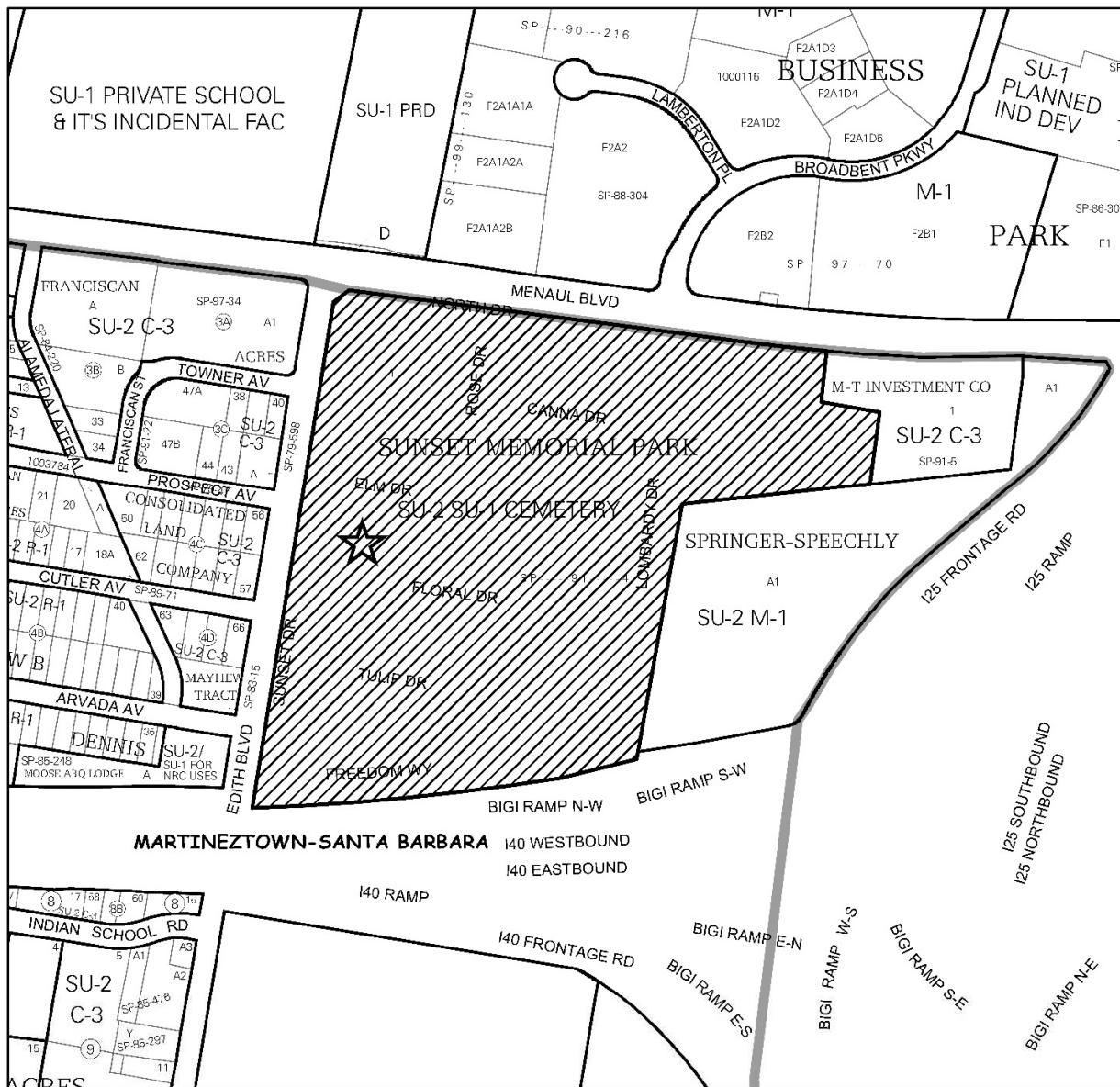
The subject site is in an Area of Consistency as designated by the Comprehensive Plan. The applicant notified affected neighborhood organizations and property owners within 100 feet of the subject site. There is no known opposition.

Map



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
CURRENT PLANNING SECTION**

ENVIRONMENTAL PLANNING COMMISSION
Project #2019-002807, Case # SI-2019-00297
October 10, 2019
Page 1



OLD ZONING MAP

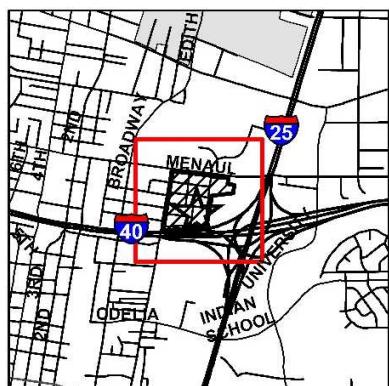
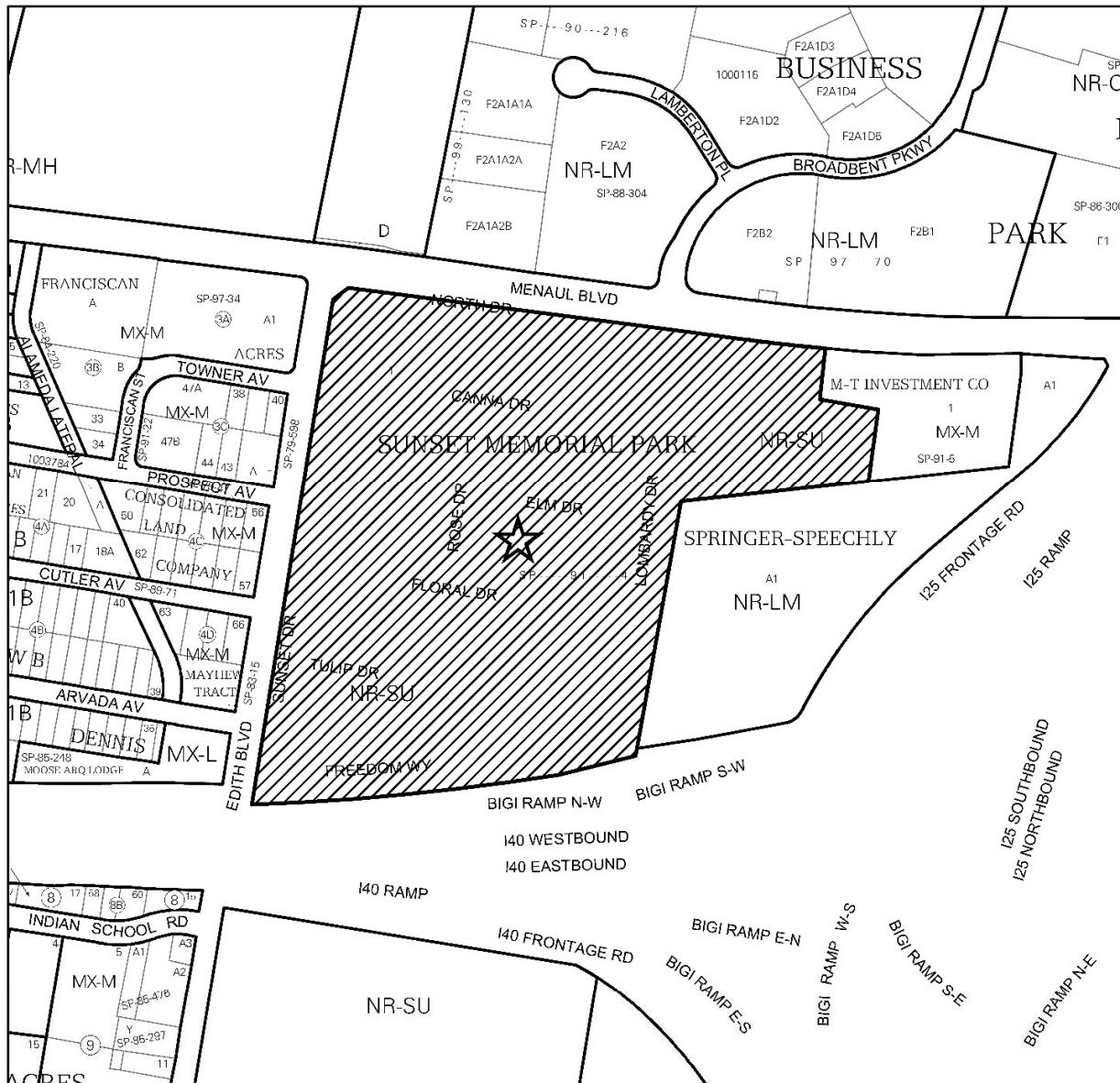
Note: Gray shading indicates County.



1 inch = 400 feet

Hearing Date:
10/10/2019
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PR-2019-002807
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Zone Map Page:
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IDO ZONING MAP

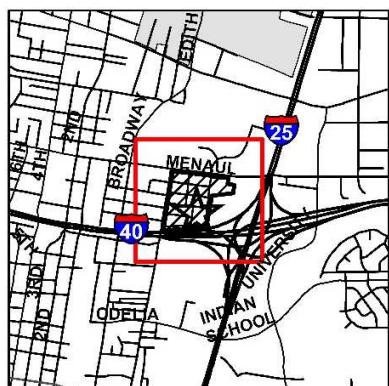
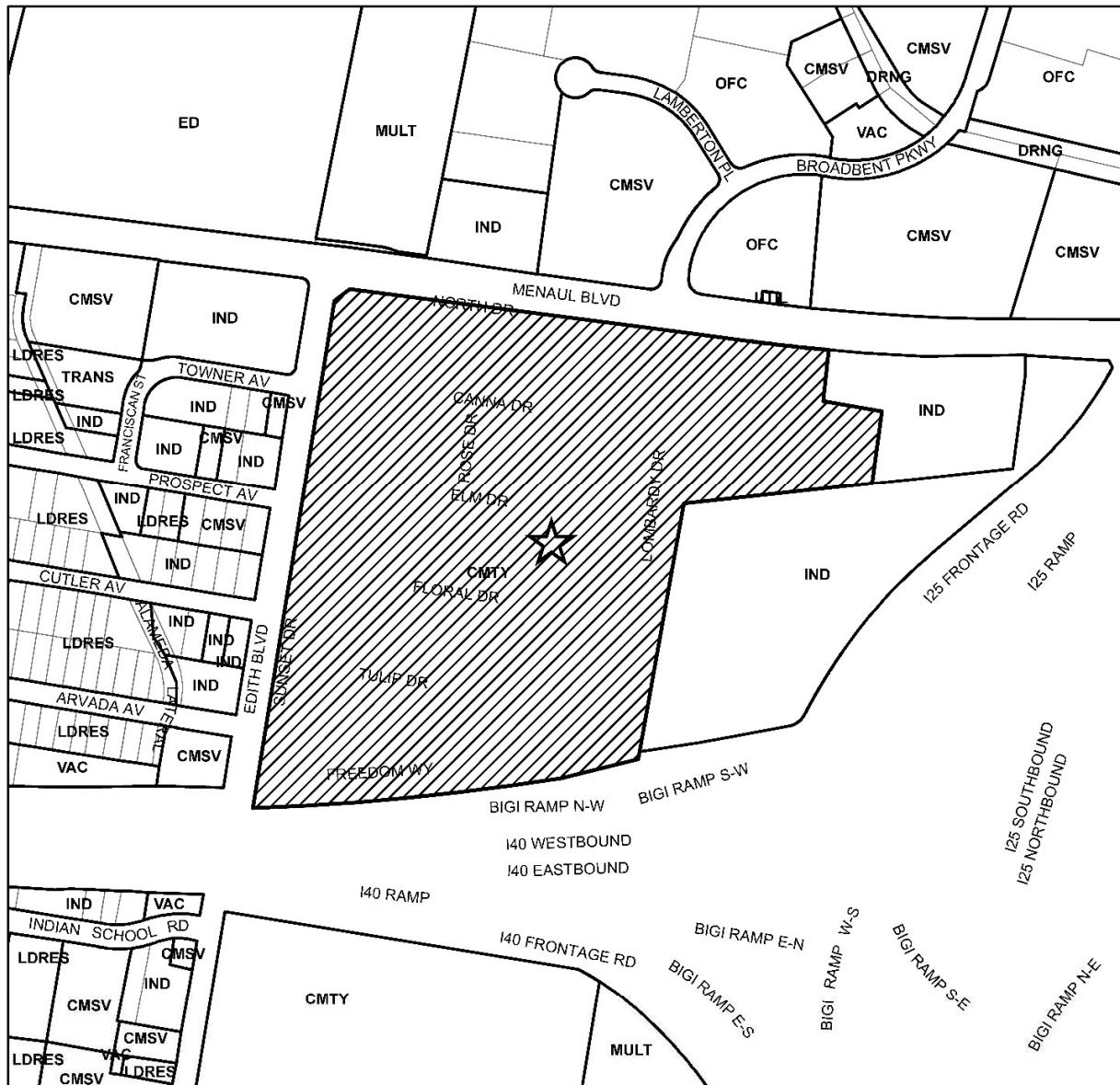
Note: Gray shading indicates County.



1 inch = 400 feet

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Zone Map Page:
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LAND USE MAP

Note: Gray shading indicates County.

Key to Land Use Abbreviations	
LDRES	Low-density Residential
MULT	Multi-family
COMM	Commercial Retail
CMSV	Commercial Services
OFC	Office
IND	Industrial
INSMED	Institutional / Medical
ED	Educational
APRT	Airport
TRANS	Transportation
AGRI	Agriculture
PARK	Parks and Open Space
DRNG	Drainage
VAC	Vacant
UTIL	Utilities
CMTY	Community
KAFB	Kirtland Air Force Base



1 inch = 400 feet

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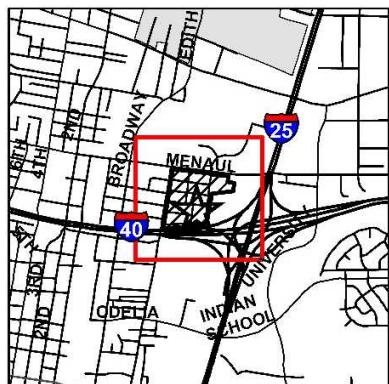
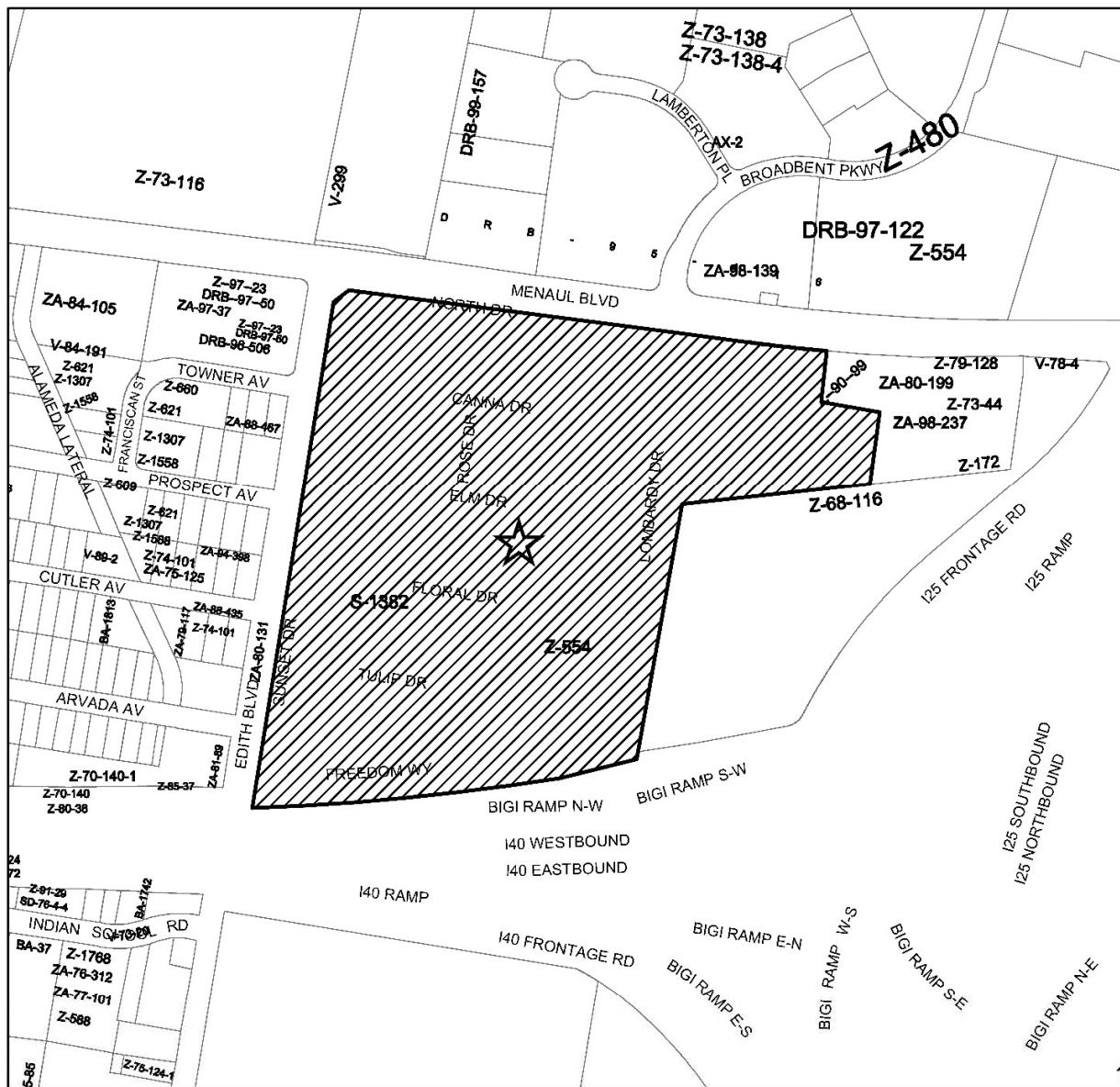
PR-2019-002807

Case Numbers:

SI-2019-00297

Zone Map Page:

H-15



HISTORY MAP

Note: Gray shading indicates County.



1 inch = 400 feet

Hearing Date:

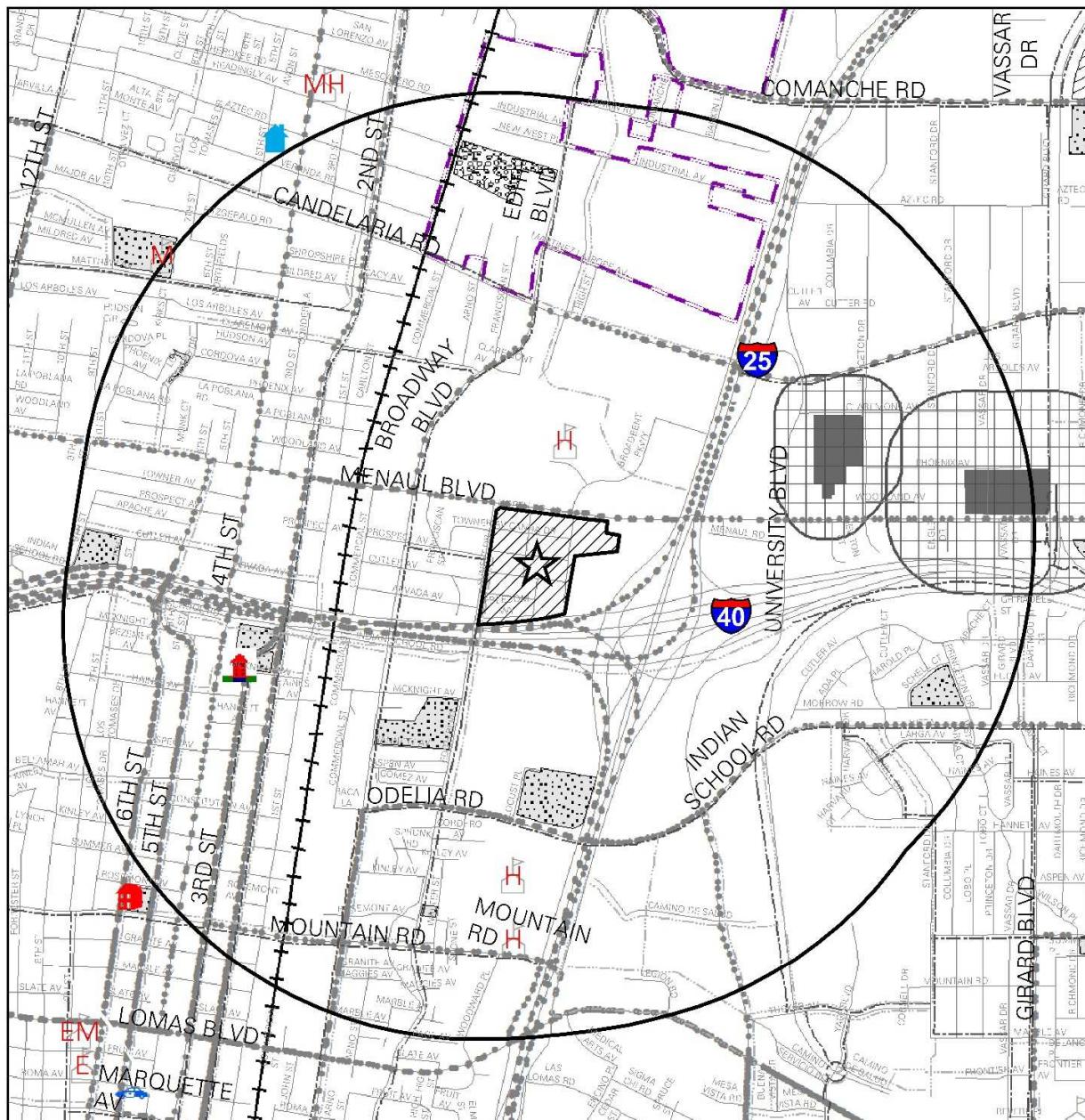
10/10/2019

Project Number:

PR-2019-002807

SI-2019-00297

One Man P



Public Facilities Map with One-Mile Buffer

Community Center	Fire	Public Schools	Landfill Buffer (1000-feet)
Multi-Service Center	Police	Proposed Bike Facilities	Landfill designated by EHD
Senior Center	Sheriff	ABQ Bike Facilities	Developed County Park
Library	Solid Waste	ABQ Ride Routes	Undeveloped County Park
Museum			Developed City Park
			Undeveloped City Park



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I. INTRODUCTION

Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area	Land Use
Site	NR-SU	Area of Consistency	Cemetery
North	NR-LM, PD	Area of Change	Commercial Services, Multi-family
South	NR-SU	Area of Consistency	Cemetery
East	MX-M, NR-LM	Area of Change	Industrial
West	MX-M	Area of Consistency	Industrial

Proposal

This request is for approval of a Site Plan-EPC for an approximately 40 acre site known as Sunset Memorial Park (SMP) located at 924 Menaul Blvd. NE, between Edith Blvd. NE and I-25. The legal description for the site is *All or a portion of Tract 1 Plat of Tracts 1 & 2 Sunset Memorial Park.*

The request is for EPC approval of a Site Plan that will allow for incremental improvements. The comprehensive, longer-term plan that will guide future growth and allow SMP to provide sustainable cemetery improvements on the remaining undeveloped land at SMP. These improvements will closely follow recent development style, preserve local heritage, and enhance the character of the neighborhood and overall community. Improvements will closely match the design style and character of those developed since the cemetery initially opened to preserve the highly-visible land form and vital land use. These improvements include additional cemetery grave sections, mausoleums, niche courts and cremation gardens, administrative and support buildings, roads, walkways, and utilities.

Incremental improvements proposed in the Site Plan will continue the cemetery-only land use and SMP's commitment to provide the community with vital cemetery and funeral home facilities, services and resources.

Below is a list of projects proposed for Sunset Memorial Park.

#	Description	Acreage	% change
Proposed: Next 8 years			
1	Camino Encantado - Phase 2	0.16	0.4%
2	Security Fencing & Perimeter Niches	0.07	0.2%
3	Sunset House	0.07	0.2%
4	Operations & Maintenance Compounds	0.19	0.5%
5	Block 28 Expansion	0.35	0.9%
6	Block 28 Improvements	0.02	0.1%
7	Pueblo Esperanza Expansion - Multi. Phases	1.42	3.6%
8	Future Development	0.79	2.0%
	Sum		7.7%

Zoning

The proposed project is classified under non-residential special use Non Residential – Sensitive Use Zone District (NR-SU) zoning category.

The purpose of the NR-SU zone district is to accommodate highly specialized public, civic, institutional, or natural resource-related uses that require additional review of location, site design, and impact mitigation to protect the safety and character of surrounding properties. Uses that require NR-SU zoning are not allowed in base zone districts and are shown in Table 4-2-1 of the IDO.

The following uses require an NR-SU zone district: Airport, Campground or Recreational Vehicle Park, Cemetery, Correctional Facility, Crematorium, Fairgrounds, Fire or Police Station, Natural Resource Extraction, Solid Waste Convenience Center, Stadium or Racetrack, Waste and/or Recycling Transfer Station.

Environmental Planning Commission (EPC) Role

The EPC's role in the review of Site Plan requests is to determine if the request fulfills applicable requirements in the Integrated Development Ordinance (IDO) including, but not limited to, the Review and Decision Criteria for Site Plan-EPC in IDO 14-16-6-6(H)(3), p. 398. The EPC is the final decision-making body for the site plan, unless the EPC's decision is appealed. Any appeal would be heard by the Land Use Hearing Officer (LUHO), who would hear the case in a public hearing and provide a written recommendation to the City Council. The City Council would make the final decision for any appeal.

History/Background

Sunset Memorial Park has been a valued cemetery land use in Albuquerque since it opened in 1929. Since that time, all improvements have been made incrementally based on timely need in support of that land use, including development of cemetery grave sections, mausoleums, niche courts and cremation gardens, administrative/support buildings, roads, walkways, and utilities.

The latest Site Development Plan (SDP) that has guided cemetery development was approved in 8/1987 and has had fourteen improvements approved by Administrative Amendment to the initial documents and completed incrementally since that time.

Following application for the latest SDP Administrative Amendment for additional cemetery improvements, approved in 2015, CABQ Planning Staff informed SMP that no additional improvements would be allowed under the approved 1987 plan, and that a new SDP would be required for future development. The Sunset Memorial Master Drainage Plan was developed in 2015 to support earlier projects.

The original request for this EPC case was for a Master Development Plan. This was done in the past but changed with the adoption of the IDO. A Master Development Plan is only available with NR-BP zoned properties. As mentioned this site is zoned NR-SU. The applicant elected to call it a Master Site Plan which will allow for incremental improvements.

Below is a list of projects completed for Sunset Memorial Park. Projects have been relatively small in nature.

#	Description	Acreage	% change
Projects Completed Since 2008			
1	Centennial Urn garden (Phase 1 & 2)	0.5	1.3%
2	Best Friends Forever Pet Section	0.18	0.5%
3	Plaza Esperanza	0.47	1.2%
4	Pueblo Esperanza	0.12	0.3%
5	Crematory Building	0.04	0.1%
6	Camino Encantado - Ph. 1	0.34	0.9%
7	Block 28: Grave Section	0.41	1.0%
	Sum		2.0%

Projects completed prior to 2008 include the Chester T. French Memorial Mausoleum, Freedom Way Mausoleum, Cemetery Offices, Vehicle Entrances and the Operations & Maintenance Compound.

Context

The existing land use is for Cemetery use and is surrounded primarily by Cemetery, Commercial Services, and Industrial with some Multi-Family to the north. It is adjacent to I-25 and I-40 transportation corridors.

The business currently operates out of their offices at 924 Manual Blvd NE and plans to make improvements over time that will closely match the design style and character of those developed since the cemetery initially opened in 1929 in order to preserve the highly-visible land form and vital community land use. These improvements include additional cemetery grave sections, mausoleums, niche courts and cremation gardens, administrative and support buildings, roads, walkways, and utilities.

Parking is providing throughout the site – along the roads in the cemetery as well as dedicated parking spaces and ADA spaces. The cemetery has green grass, mature trees, shrubs and flowers.

The proposed project is classified under non-residential special use (NR-SU) zoning category. All improvements would fully comply with the city Integrated Development Ordinance (IDO), and all city building requirements for this land use. The intention of the improvements are to help better serve the community, improve the operations of the business, and upgrade the facility and site in order to add value to the neighborhood and city.

Roadway System

The Long Range Roadway System (2040 LRSS) map, produced by the Mid-Region Council of Governments (MRCOG), includes existing roadways and future recommended roadways along with their regional role.

- Menaul Blvd is functionally classified as a Principal Arterial currently, and is projected to be a Community Principal Arterial in the LRSS.

Comprehensive Plan Corridor Designation

The site is adjacent to Menaul Blvd., which is classified as a multi-modal corridor.

Trails/Bikeways

The Long Range Bikeway System (LRBS) indicates Edith Blvd is an existing Bicycle Route, and includes a proposed Paved Trail along the east side of Edith Blvd in the project area, from approximately Prospect Avenue south.

Transit

The subject site is near the Menaul Route 8, which runs Weekdays, Saturdays and Sundays.

Public Facilities/Community Services

Please refer to the Public Facilities Map in the packet for a complete listing of public facilities and community services located within one mile of the subject site.

II. ANALYSIS OF CITY PLANS AND ORDINANCES

Integrated Development Ordinance (IDO)

This application for a Site Plan – EPC meets all of the following criteria:

- *The Site Plan is consistent with the ABC Comp Plan, as amended. See the ABC Comprehensive Plan section below.*
- *The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.*
- *The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.*
- *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*
- *The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.*

The project design is in conformity with the project location within the Sunset Memorial Park. The redundant older buildings will be demolished and replaced with a more appealing and functional building, while keeping and improving upon the native high desert landscaping. The site plan is in alignment with the surrounding cemetery grounds and IDO, NR-SU land zone criteria. Several of the existing mature trees on the property will be retained and landscaping trees and plants will be added to enhance the aesthetics of the existing site. The landscaping follows the requirements and guidelines of the IDO and calls for plant species appropriate to the local climate, and as required in the Albuquerque Plant Palette List. The proposed landscape plan is designed with understanding of water and soil erosion, and environmental conservation values of the environment and local community, and matches goals of the ABC Comprehensive Plan and requirements of the IDO.

Character Protection Overlay

The subject site is in Martineztown/Santa Barbara Character Protection Overlay Zone (CPO)-7.

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is in an Area of Consistency as designated by the Comprehensive Plan.

Applicable Goals and Policies that are addressed in the plan include:

- *Goal 4.1 Character: Enhance, protect, and preserve distinct communities.*
- *Policy 4.1.1 Distinct Communities: Encourage quality development that is consistent with the distinct character of communities [ABC]*
- *Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character*

of building design. [ABC]

- *Policy 4.1.3 Placemaking: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place. [ABC]*
- *Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality. [ABC]*
- *Policy 8.1.3 Economic Base: Strengthen and diversify the economic base to help reduce reliance on government spending. [ABC]*
- *Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, Parks, and Major Public Open Space. [ABC]*
- *Policy 11.1.4 Local Heritage: Keep local traditions and heritage alive and cultivate neighborhoods and rural areas as safe and excellent places to live and raise families. [ABC]*

The proposed Site Plan is consistent with the goals of the [ABC] Comprehensive Plan. The proposed cemetery improvements respond to the City of Albuquerque's increasing economic health, population growth, and desires to improve the community's vitality, identity, and character. (*Policies 4.1.4 Neighborhoods, 8.1.3 Economic Base, and 5.6.3 Areas of Consistency*)

The project site is located along a major vehicular entry into the city and has been an operating cemetery and vital community resource since 1929. The location of the cemetery makes it a highly recognizable open space-type land form and vital repository of family history for residents of the overall community. Proposed improvements will allow this important community resource to continue well into the future. (*Policies 4.1.1 Distinct Communities, 4.1.2 Identity and Design, 4.1.3 Placemaking, and 4.1.4 Neighborhoods, 5.6.3 Areas of Consistency, and 11.1.4 Local Heritage*)

The project design recognizes the need to add new burial and cremation options in a way that responsibly maximizes the remaining cemetery space available while continuing to provide the valued regional design styles and character that helps preserve local heritage and enhance cultural resources of the area, and connect the property to the adjacent historic Santa Barbara-Martineztown Neighborhood and surrounding community areas (*Policy 4.1.4 Neighborhoods*).

The project proposes needed improvements to allow the cemetery to continue to provide valued long-term cemetery, crematorium, and funeral home services to the local community, while improving the functions, aesthetics, and sustainability of its facilities. The proposed improvements will ensure SMP can continue to provide vital cemetery and funeral home facilities and services to an ever-increasing community population, and are proposed to continue to improve the functionality, attractiveness, and sustainability of the business location (*Policy 8.1.3 Economic Base*).

III. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

City departments and other interested agencies reviewed this application prior to the EPC Hearing. Few agency comments were received and none were adverse to the request. Refer to the agency comments at the end of the staff report.

Neighborhood/Public

The applicant notified the following affected neighborhood organizations as required:

North Valley Coalition, Martineztown Work Group, Santa Barbara Martineztown NA, and the Semillas y Raices Neighborhood Community Group.

Property owners within 100 feet of the subject site were also notified, as required. A neighborhood meeting was held on 7/19/19. One resident from Santa Barbara Martineztown NA / Martineztown Work Group attended. Comments were favorable.

There were no other requests for a facilitated meeting and no opposition to this correspondence. All correspondence is included in submittal packet.

IV. CONCLUSION

This request is for a Site Plan-EPC for an approximately 40 acre site known as Sunset Memorial Park (924 Menaul Blvd. NE). The applicant proposes a Site Plan that will allow for incremental improvements. This comprehensive, longer-term plan will guide future growth and allow SMP to provide sustainable cemetery improvements on the remaining undeveloped land at SMP. These improvements will closely follow recent development style, preserve local heritage, and enhance the character of the neighborhood and overall community. Incremental improvements proposed in the Site Plan will continue the cemetery-only land use and SMP's commitment to provide the community with vital cemetery and funeral home facilities, services, and resources. The subject site is in an Area of Consistency as designated by the Comprehensive Plan. The applicant notified affected neighborhood organizations and property owners within 100 feet of the subject site. There is no known opposition.

Staff finds that the request meets IDO requirements and recommends approval subject to conditions to provide clarification and ensure that all applicable requirements are met.

Staff recommends approval.

FINDINGS --SI-2019-00297, October 10, 2019--Site Plan-EPC

1. This request is for a site plan for an approximately 40 acre site known as Sunset Memorial Park (924 Menaul Blvd. NE).
2. The subject site is zoned NR-SU (Non-residential – Sensitive Use Zone District). The site is an existing cemetery and the applicant proposes to further develop and consolidate their operations into a single operating location, and upgrade and update their facilities to better serve the community.
3. The subject site is in an area that the Comprehensive Plan has designated an Area of Consistency. The subject site is adjacent to Menaul Blvd. multi-modal corridor.
4. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
5. The Site Plan is consistent with the ABC Comp Plan, as amended. ((6-6(H)(3)(a)), including:
 - a. Goal 4.1 Character: Enhance, protect, and preserve distinct communities.
 - b. Policy 4.1.1 Distinct Communities: Encourage quality development that is consistent with the distinct character of communities [ABC]
 - c. Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design. [ABC]
 - d. Policy 4.1.3 Placemaking: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place. [ABC]
 - e. Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality. [ABC]
 - f. Policy 8.1.3 Economic Base: Strengthen and diversify the economic base to help reduce reliance on government spending. [ABC]
 - g. Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, Parks, and Major Public Open Space. [ABC]
 - h. Policy 11.1.4 Local Heritage: Keep local traditions and heritage alive and cultivate neighborhoods and rural areas as safe and excellent places to live and raise families. [ABC]
6. The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations. ((6-6(H)(3)(b))
7. The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property. ((6-6(H)(3)(c))

8. The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable. ((6-6(H)(3)(d))
9. The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable. ((6-6(H)(3)(e))
10. The applicant notified the following affected neighborhood organizations as required: North Valley Coalition, Martineztown Work Group, Santa Barbara Martineztown NA, and the Semillas y Raices Neighborhood Community Group. Property owners within 100 feet of the subject site were also notified, as required. There were no requests for a facilitated meeting and no opposition to this correspondence. As of this writing, Staff has not received any comments. There is no known opposition.

RECOMMENDATION - SI-2019-00297, October 10, 2019

APPROVAL of Project #: 2019-002807, Case #: SI-2019-00297, a Site Plan-EPC for SUNSET PARK CEMETERY located at 924 Menaul Blvd. NE, between Edith Blvd. NE and I-25.

CONDITIONS OF APPROVAL -SI-2019-00297, October 10, 2019

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are met. Upon receiving final approvals, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.

*Linda Rumpf
Staff Planner*

Notice of Decision cc list:

List will be finalized subsequent to the EPC hearing on October 10, 2109.

APPENDIX

AGENCY COMMENTS

PLANNING DEPARTMENT

Long Range Planning

Address: 924 Menaul Blvd NE

IDO Zoning: NR-SU

Request: Site Plan – EPC

Requested IDO Zoning: N/A

Comments for Site Plan

The Comprehensive Plan generally encourages that new development be consistent with the existing surrounding development. The proposed development described in the Site Plan – EPC is consistent with the existing development on the site and would allow for continued use of the site as a cemetery. The Site Plan includes design guidelines that will help ensure that future development is consistent with existing development.

Note that in the IDO, a Master Development Plan only applies to plans for development in the NR-BP zone district, intended to provide guidelines for development for a large, business park site. This application and the accompanying plan should be considered a Site Plan – EPC, not a Master Development Plan.

Metropolitan Redevelopment

No comments

Hydrology

DRB Project Number: 2019-002807 Hearing Date: 10-10-19

Project: Sunset Memorial Park Agenda Item No: _____

<input type="checkbox"/> Sketch Plat	<input type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input checked="" type="checkbox"/> Site Plan for Bldg. Permit <input type="checkbox"/> Site Plan for Subdivision	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> IIA Extension	<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

ENGINEERING COMMENTS:

- Hydrology recommends that final signoff of this Site Plan be delegated to the Development Review Board. An approved Grading and Drainage plan will be required prior to Site Plan approval at DRB and Building Permit.

Neighborhood Coordination

No comments

Transportation Development Services

No comments

Zoning / Code Enforcement

Solid Waste: Need to clearly indicate all existing/to remain refuse areas on Pgs. #3/#11, to verify the new/proposed improvements/expansions will not hinder any existing refuse collection service.

MUNICIPAL DEVELOPMENT DEPARTMENT (DMD) TRANSPORTATION

No comments

POLICE DEPARTMENT/PLANNING

No comments

SOLID WASTE MANAGEMENT DEPARTMENT

No comments

TRANSIT DEPARTMENT

No comments

ABC WATER UTILITY AUTHORITY (ABCWUA)

SI-2019-00297 – Master Site Plan

- Identification: UPC – 101505915021531426
 - a. *No adverse comment to the proposed site improvements.*
 - b. The site is currently receiving service.

- 1) If new structures are proposed in the future then an availability statement shall be requested to ensure that fire flow requirements can be met. Requests can be made at the following link:
 - i. http://www.abcwua.org/Availability_Statements.aspx
 - ii. Request shall include a City Fire Marshal approved Fire 1 Plan, zone map showing the site location, and a Utility Plan (showing the domestic water, sanitary sewer, and proposed fire protection).

ALBUQUERQUE PUBLIC SCHOOLS

APS Case Comments: No adverse impacts.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)

No objections

COUNTY OF BERNALILLO

No comments

MID-REGION COUNCIL OF GOVERNMENTS (MRCOG) / MID-REGION METROPOLITAN PLANNING ORGANIZATION (MRMPO)

MRMPO has no adverse comments.

Informational purposes:

- Menaul Blvd is an Intelligent Transportation System (ITS) Corridor. Please consult the reviewing agency's Traffic Engineering and/or ITS Department with any questions regarding ITS infrastructure.

- Menaul Blvd is functionally classified as a Principal Arterial currently, and is projected to be a Community Principal Arterial in the LRRS.
- The LRBS indicates Edith Blvd is an existing Bicycle Route, and includes a proposed Paved Trail along the east side of Edith Blvd in the project area, from approximately Prospect Avenue south (see green dotted line in image to the right).

PUBLIC SERVICE COMPANY OF NEW MEXICO

No comments

NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)

No comments

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

No comments

NM GAS COMPANY

No comments

PETROGLYPH NATIONAL MONUMENT

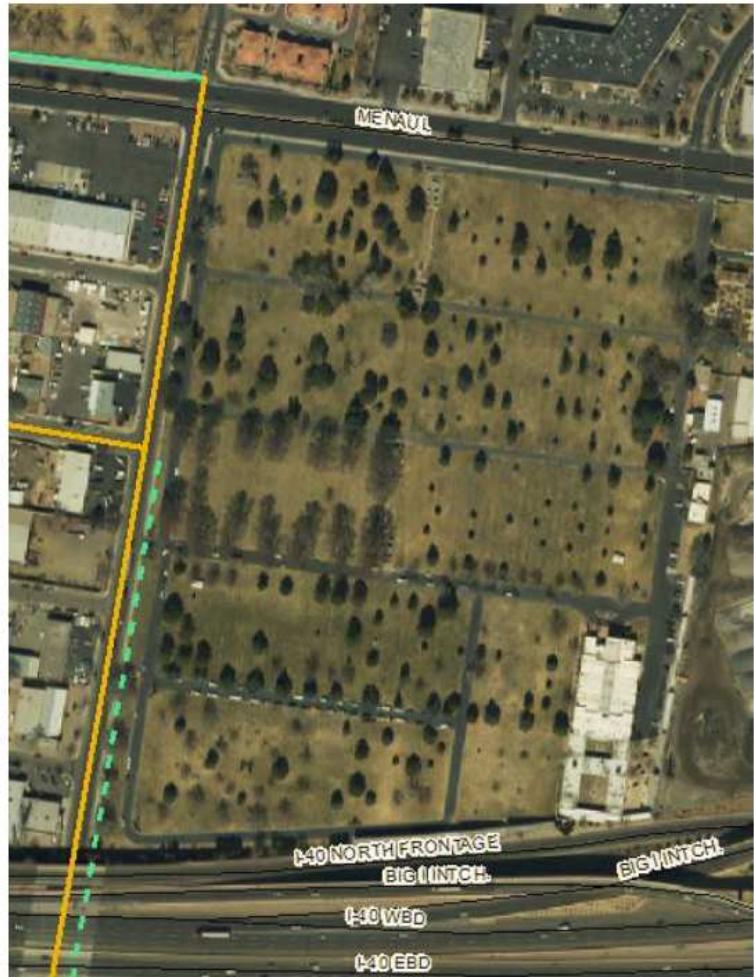
No comments

AVIATION DEPARTMENT

No comments

KIRTLAND AIR FORCE BASE

No comments



PHOTOS



Cemetery grounds

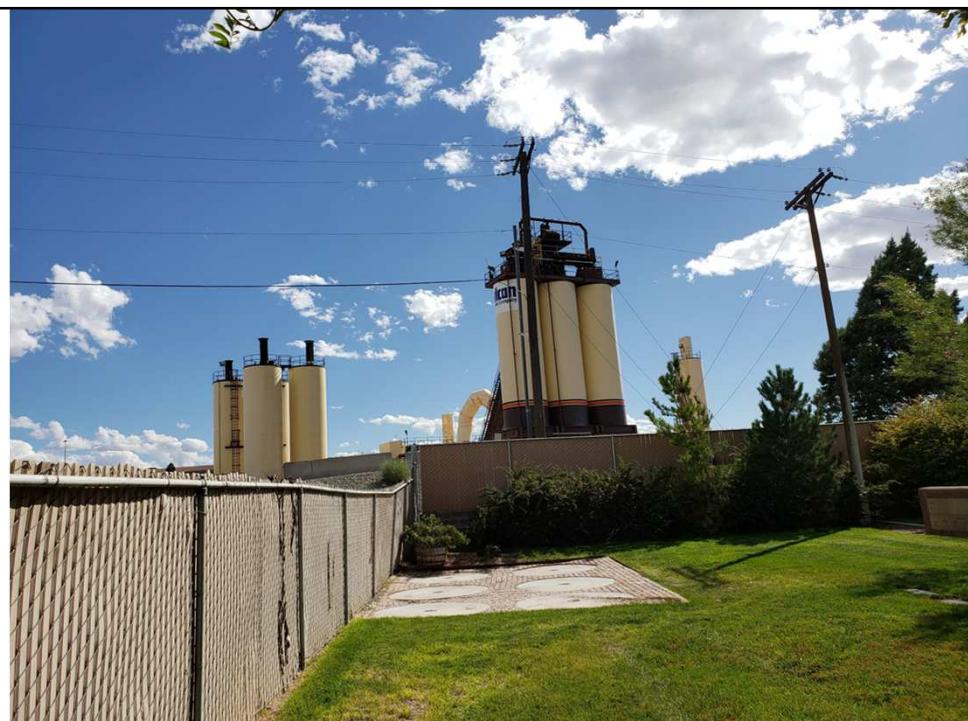


Mausoleum





Edith Blvd. NE, west of subject site



Adjacent
gravel pit

ZONING

Please refer to the Integrated Development Ordinance (IDO) for specifics regarding the NR-SU zone.

APPLICATION INFORMATION

A^{City of}lbuquerque



DEVELOPMENT REVIEW APPLICATION

Effective 4/17/19

Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input checked="" type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: <u>SUNSET MEMORIAL PARK</u>		Phone: <u>(505) 345-3536</u>
Address: <u>924 MENAULT BLD NE</u>		Email: <u>EMRISK@Sunset-Memorial</u>
City: <u>ALBUQUERQUE</u>	State: <u>NM</u>	Zip: <u>87107</u>
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List all owners:

BRIEF DESCRIPTION OF REQUEST

UPDATING MASTER DEVELOPMENT / SITE PLAN FOR ALREADY ESTABLISHED (1929) CEMETERY

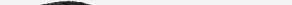
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract 1	Block:	Unit:
Subdivision/Addition: Sunset Memorial Park	MRGCD Map No.:	UPC Code: 1015059150215315
Zone Atlas Page(s): H - 15 - Z	Existing Zoning: H-54	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): ~40

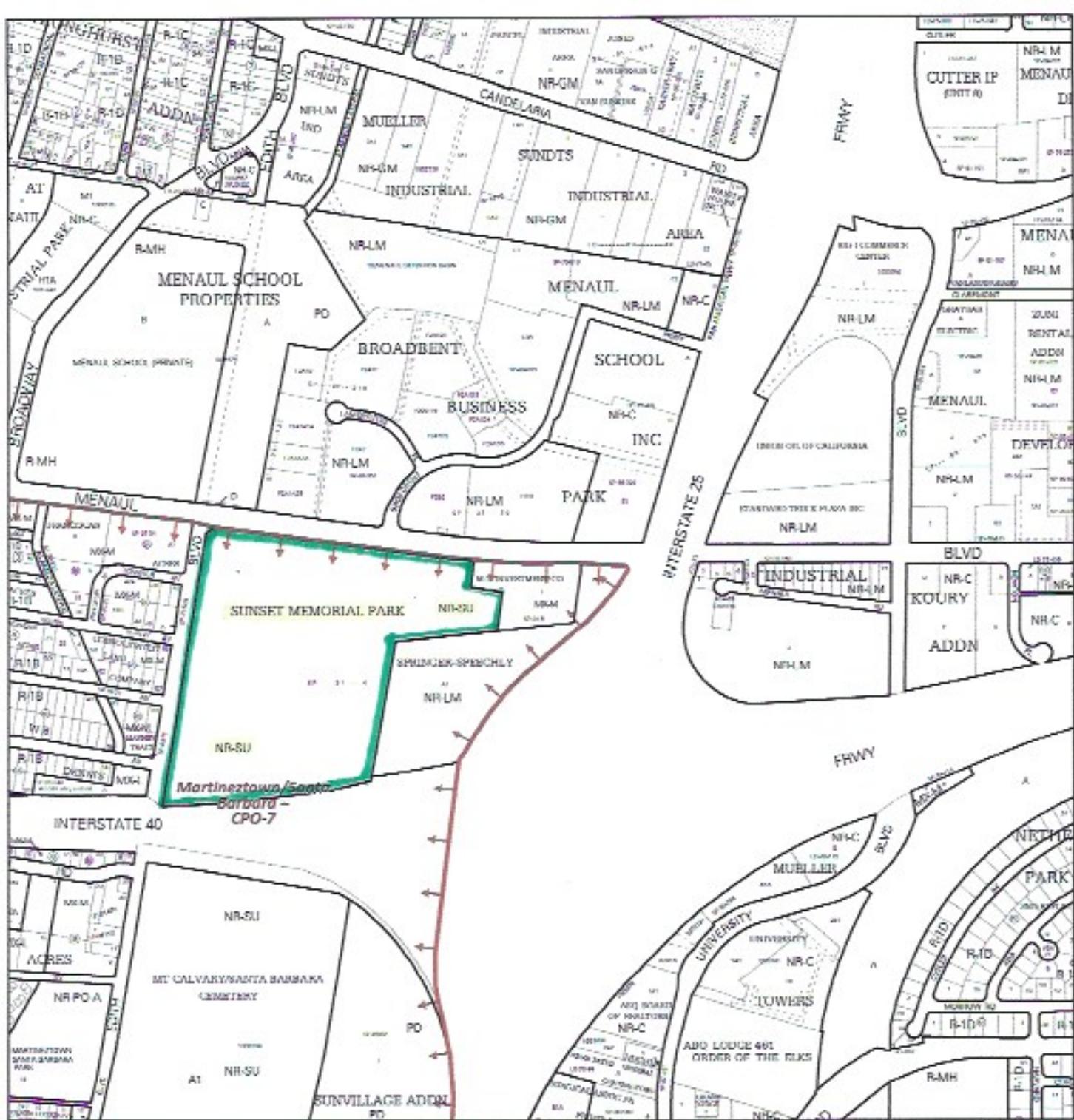
LOCATION OF PROPERTY BY STREETS

Site Address/Street: 924 MENAUL BLVD Between: EDITH and: I-25

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: 	Date: 8/29/19
Printed Name: CHRISTOPHER KAUER	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:

H-15-Z

Easement Escarpment

→ Petroglyph National Monument

Areas Outside of City Limits

Airport Protection Overlay (APO)

14 Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone

Scale: 5000 5000 4000

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

_____ (Applicant or Agent)

_____ (Date)

I issued _____ signs for this application, _____ (Date) _____ (Staff Member)

PROJECT NUMBER: _____

Chris Keller, President
Sunset Memorial Park
924 Menaul Blvd NE
Albuquerque, NM 87107

September 13, 2019

Director of Planning
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Director,

Please accept this Justification Letter as part of our application for approval of a Master Development Plan (MDP) for Sunset Memorial Park (SMP) in Albuquerque. We submit the following justifications as to why we believe the MDP should be approved to allow SMP to make proposed cemetery improvements.

A. Property Background / History

1. The legal description for the property is:
"All or part of Tract 1 of Tracts 1 & 2 Sunset Memorial Park, zoned NR-SU, located at 924 Menaul Boulevard NE, between Edith Boulevard and I-25, containing approximately 40.0 acres."
2. Sunset Memorial Park has been a valued cemetery land use in Albuquerque since it opened in 1929. Since that time, all improvements have been made incrementally based on timely need in support of that land use, including development of cemetery grave sections, mausoleums, niche courts and cremation gardens, administrative/support buildings, roads, walkways, and utilities.
3. The latest Site Development Plan (SDP) that has guided cemetery development was approved in 8/1987 and has had fourteen improvements approved by Administrative Amendment to the initial documents and completed incrementally since that time.
4. Following application for the latest SDP Administrative Amendment for additional cemetery improvements, approved in 2015, CABQ Planning Staff informed SMP that no additional improvements would be allowed under the approved 1987 plan, and that a new SDP would be required for future development.
5. In recent conversations with CABQ Urban Design and Development Division Manager, Russell Britto, it was recommended that the MDP process may be the more appropriate, with separate SDP approvals sought for individual improvement projects when needed.
6. Mr. Britto also suggested that SMP request a Delegation of Approval Authority (DAA) of future development to CABQ Planning Staff to timely manage individual project review and approval.

*** See DAA section below for additional information. ***

B. Purpose

1. The purpose of this application for Site Plan - EPC approval of the Master Development Plan (MDP) documents is to seek approval of a comprehensive, longer-term plan that will guide future growth and allow SMP to provide sustainable cemetery improvements on the remaining undeveloped land at SMP. These improvements will closely follow recent development style, preserve local heritage, and enhance the character of the neighborhood and overall community.
2. MDP documents provided show recently approved cemetery improvements developed under the Site Plan, dated 8/1987, and all Administrative Amendments, and show proposed new areas and types of future cemetery development. Because cemetery developments respond closely to family needs, specific layouts of improvements will be determined at time of need with approval sought through the SDP process.
3. Incremental improvements proposed in the MDP will continue the cemetery-only land use and SMP's commitment to provide the community with vital cemetery and funeral home facilities, services, and resources.
4. Proposed improvements will closely match the design style and character of those developed since the cemetery initially opened to preserve the highly-visible land form and vital land use. These improvements include additional cemetery grave sections, mausoleums, niche courts and cremation gardens, administrative and support buildings, roads, walkways, and utilities.

C. IDO Requirements per Section 14-16-6-6 (H) (3)

1. 6-6(H)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

*Justification: SMP has been in operation since 1929 and has been an accepted land use within its initial location and subsequent zone designations adopted since the initial approval of the ABC Comp Plan. ***See additional ABC Comp Plan justification notes below. ****

2. 6-6(H)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

Justification: SMP has complied with all terms and conditions in its previous zoning designation, including multiple improvements approved by Administrative Amendment to the initial Site Development Plan, dated 8/1987. SMP is an accepted use within its existing NR-SU zone.

3. 6-6(H)(3)(c) The Site Plan complies with all applicable provisions of the IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Justification: Previous improvements made at SMP were reviewed for compliance and approved per requirements of the previous Zoning Ordinance, with recent improvements since 2007 reviewed and approved by multiple SDP Administrative Amendments. All future improvements proposed in the MDP will be designed to comply with all IDO requirements and be submitted for City approval using individual Site Development Plan review processes for each incremental improvement.

4. 6-6(H)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

Justification: The streets, vehicle entries, and walkways at SMP are private and are regularly maintained by SMP. All recent drainage improvements as part of previously proposed

developments have been reviewed and approved by CABQ and State of New Mexico Hydrology Department Staff. Proposed cemetery improvements in the MDP will continue to have runoff managed on site to the highest degree possible, will be individually reviewed per CABQ SDP processes, and will not adversely affect infrastructure capacities in the area.

5. 6-6(H)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

Justification: SMP has been a positive visual and spiritual resource in its neighborhood and in greater Albuquerque for ninety years. Proposed improvements listed in the MDP will be completed in attractive architectural and landscape design styles so that it continues to be this important resource. No significant adverse impacts on the surrounding area will result from proposed cemetery development.

****Refer to graphic and support documents in the MDP submittal for additional information about existing and proposed cemetery site, building, and landscape developments.****

D. Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The project site is located in an Area of Consistency as designated by the Comprehensive Plan.

Applicable Goals and Policies that are addressed in the plan include:

- *Goal 4.1 Character: Enhance, protect, and preserve distinct communities.*
- *Policy 4.1.1 Distinct Communities: Encourage quality development that is consistent with the distinct character of communities [ABC]*
- *Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design. [ABC]*
- *Policy 4.1.3 Placemaking: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place. [ABC]*
- *Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality. [ABC]*
- *Policy 8.1.3 Economic Base: Strengthen and diversify the economic base to help reduce reliance on government spending. [ABC]*
- *Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, Parks, and Major Public Open Space. [ABC]*
- *Policy 11.1.4 Local Heritage: Keep local traditions and heritage alive and cultivate neighborhoods and rural areas as safe and excellent places to live and raise families. [ABC]*

1. The proposed MDP is consistent with the goals of the [ABC] Comprehensive Plan. The proposed cemetery improvements respond to the City of Albuquerque's increasing economic health, population growth, and desires to improve the community's vitality, identity, and character. (*Policies 4.1.4 Neighborhoods, 8.1.3 Economic Base, and 5.6.3 Areas of Consistency*)
2. The project site is located along a major vehicular entry into the city and has been an operating cemetery and vital community resource since 1929. The location of the cemetery makes it a highly recognizable open space-type land form and vital repository of family history for

residents of the overall community. Proposed improvements will allow this important community resource to continue well into the future. (*Policies 4.1.1 Distinct Communities, 4.1.2 Identity and Design, 4.1.3 Placemaking, and 4.1.4 Neighborhoods, 5.6.3 Areas of Consistency, and 11.1.4 Local Heritage*)

3. The project design recognizes the need to add new burial and cremation options in a way that responsibly maximizes the remaining cemetery space available while continuing to provide the valued regional design styles and character that helps preserve local heritage and enhance cultural resources of the area, and connect the property to the adjacent historic Santa Barbara-Martineztown Neighborhood and surrounding community areas (*Policy 4.1.4 Neighborhoods*).
4. The project proposes needed improvements to allow the cemetery to continue to provide valued long-term cemetery, crematorium, and funeral home services to the local community, while improving the functions, aesthetics, and sustainability of its facilities. The proposed improvements will ensure SMP can continue to provide vital cemetery and funeral home facilities and services to an ever-increasing community population, and are proposed to continue to improve the functionality, attractiveness, and sustainability of the business location (*Policy 8.1.3 Economic Base*).

E. Request for Delegation of Approval Authority of Future Development to CABQ Planning Staff

SMP respectfully requests this delegation of approval authority to staff based on the following points of justification:

- *Proposed project improvements build upon previous cemetery layouts, design styles, and project character previously approved in an SDP, dated 8/1987, and numerous Administrative Amendments since that time. Fourteen recent improvements have been made since 2007.*
- *Proposed land uses and design styles will continue to contribute positively to the neighborhood aesthetic and character in terms of neighborhood and community identity, place-making, local heritage, and consistency.*
- *SMP has a long-term relationship with CABQ Planning staff since 1987 regarding the understanding of and compliance with previous Zoning Code and current IDO requirements.*
- *Proposed individual projects noted in the MDP will be developed incrementally using SDP review and approval processes.*

Respectfully,

Chris Keller

PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. PRT meetings are for informational purposes only; they are non-binding and do not constitute any type of approval. Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO). When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.

PAR: <u>19-135</u>	Received By: <u>CL Delgoderos</u> <small>Official Use only</small>	Date: <u>4-23-19</u>
APPOINTMENT DATE & TIME: <u>April 30, 2019 @ 3:00pm</u>		

Applicant Name: Lane Ledbetter (for Chris Keller) Phone#: 720-273-4684 Email: lledbetter@oprastudio.com

PROJECT INFORMATION:

For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.

Size of Site: 48.0 ac +/- Existing Zoning: NR - SU Proposed Zoning: N/A

Previous case number(s) for this site: 1001688, 2-554

Applicable Overlays or Mapped Areas: Martinez-Santa Barbara Sector Dev. Plan

Residential - Type and No. of Units: N/A - Commercial Cemetery Development Only

Non-residential - Estimated building square footage: TBD - Mausoleums Only No. of Employees: N/A

Mixed-use - Project specifics: Cemetery currently includes mixed-use improvements and MDP will propose additional.

LOCATION OF REQUEST:

Physical Address: 924 Mariani Blvd., N.E. Zone Atlas Page (Please identify subject site on the map and attach): H-15-2

BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)

Sunset Memorial Park wishes to apply for a permit for a Master Development Plan (MDP) for future cemetery improvements that include additional grave sections, mausoleums, niche columbariums, and cremation gardens.

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

(1) Previous cemetery development was permitted by an SDP process extended with a number of amendments over the last several years. In 2014, previous Current Planning Director, Kym Dicome, approved a previous round of proposed improvements under that SDP but required new documents be submitted for any additional work. (2) We would like to confirm the submittal documents needed in seeking the MDP (i.e. plans, design guidelines, applications, etc.) and steps in the process (i.e. Neighborhood Public Meeting, Environmental Planning Commission Meeting, etc.). (3) We would also like to confirm that a supplemental Site Development Plan (SDP) process would be used when individual design and construction project permits are needed, and that approvals may be possible with limited staff review only.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 19-135 Date: 30 Apr 2019 Time: 3:00 pm

Address: _____

AGENCY REPRESENTATIVES AT MEETING:

Planning: Russell Brito

Code Enforcement: _____

Fire Marshall: _____

Transportation: _____

Other: _____

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: "Master Plan" for Sunset Memorial Park

SITE INFORMATION:

Zone: AIR-SU Size: _____

Use: _____ Overlay Zone: _____

Comp Plan Area Of: _____ Comp Plan Corridor: _____

Comp Plan Center: _____ MPOS or Sensitive Lands: _____

Parking: _____ MR Area: _____

Landscaping: _____ Street Trees: _____

Use Specific Standards: _____

Dimensional Standards: _____

*Neighborhood Organization/s: _____

*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.eabq.gov/neighborhoods/resources.

PROCESS:

Type of Action: Site Plan - EPC

Review and Approval Body: EPC Is this PRT a requirement? Yes

- Notice to NAs via email
- Potential neighborhood meetings
- Site Plan - EPC
 - show "as-built" existing conditions
 - show areas of new development (phases)
 - include design standards for all future development:
 - architecture • height
 - landscape • uses
 - parking
 - access
 - etc.
 - request delegation of approval authority of future development to staff

MASTER SITE PLAN

SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

OWNER

Sunset Memorial Park

924 Menaul Blvd. NE Albuquerque,
NM 87107 p: 505.345.3536
contact:
Chris Keller, Executive Director

CEMETERY PLANNERS/LANDSCAPE ARCHITECTS

CPRA Studio, Inc.
(Prime)

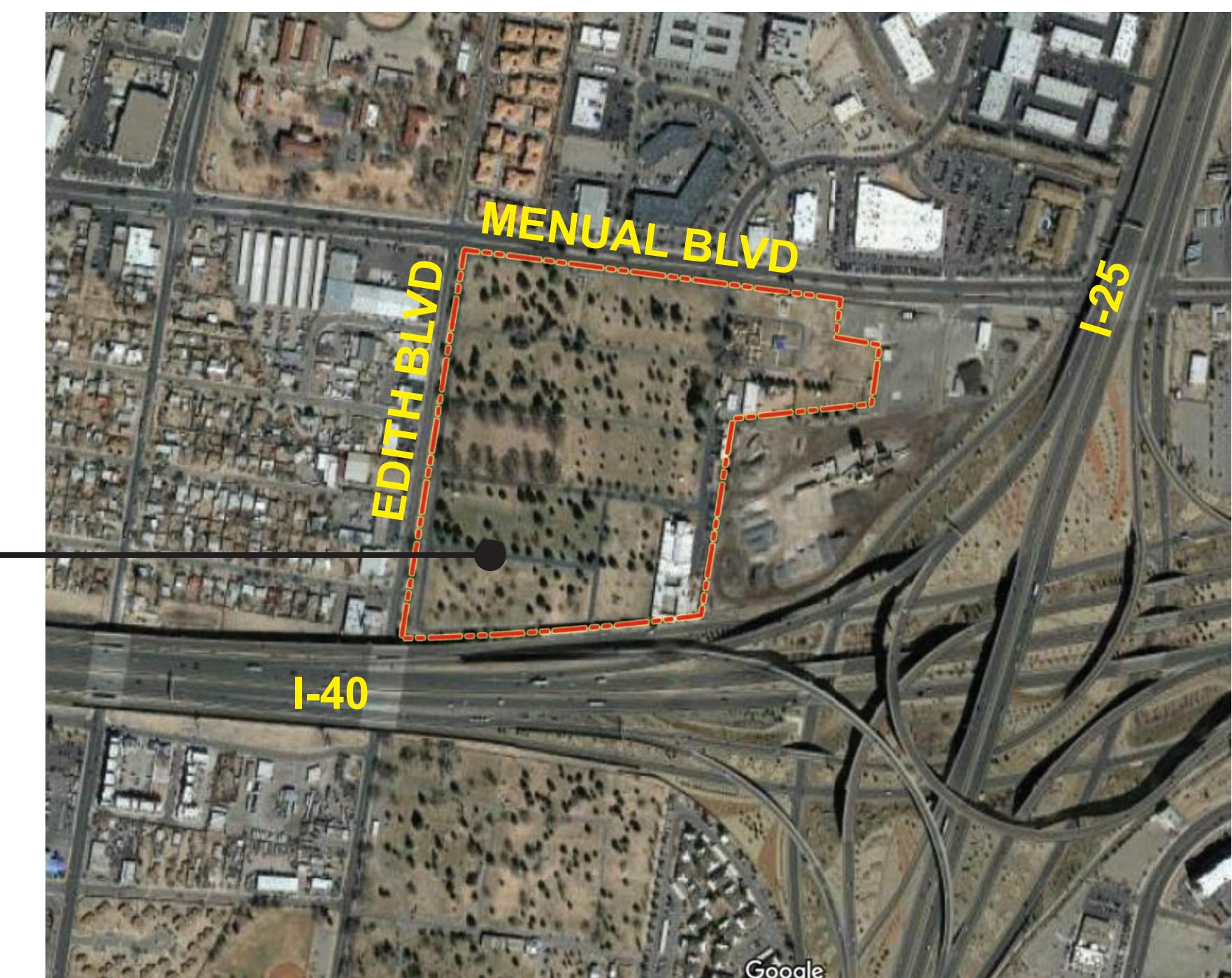
9635 North Rampart Road
Littleton, CO 80125
p: 303.683.5917
www.cprastudio.com
contact:
Lane Ledbetter, RLA

CIVIL ENGINEER / SURVEYOR

High Mesa Consulting Group

6010 Midway Parkway Blvd. NE #B
Albuquerque, NM 87109
p: 505.345.4250
contacts:
Surveyor- Chuck Cala, PLS
Civil Engineer- Graeme Means, PE

SUNSET MEMORIAL PARK



Vicinity Map



Sheet Index:

- 1 Cover Sheet
- 2 Proposed Development – Overall Plan
- 3 Proposed Development – Enlargements, Sheet 1
- 4 Proposed Development – Enlargements, Sheet 2
- 5 Proposed Cemetery Design Guidelines
- 6 Recent Development – Overall Plan
- 7 Previously Approved SDP with Amendments
- 8 Exhibit #1: Recent Development – Centennial Urn
- 9 Exhibit #2: Recent Development – Pueblo Esperanza

SHEET 1 OF 9

PROPOSED PROJECTS

Notes, Descriptions, and Area Calculations

Notes:

1. Development shown is proposed over the next eight (8 – 12) years.
2. All areas of proposed cemetery improvements are owned by and will be developed solely by Sunset Memorial Park (SMP).
3. The entire SMP property is zoned NR-SU (Non-Residential Sensitive Use). Existing use is for cemetery purposes only. Proposed uses will also be cemetery purposes only to add improvements to meet the burial, entombment, and inurnment needs.
4. Proposed improvements will be developed using the design guidelines included in these submittal documents, and will closely match the existing design style and materials of the existing projects adjacent to them.

Descriptions:

1 Camino Encantado – Phase II

Proposed development will closely match the previous phase of Camino Esperanza development and could include additional stucco-walled courts with cremation niches and casket crypts, and associated cremation planters and garden bed cremation inventory.

Camino Encantado - Phase II 6,885 sf (0.16 ac)

2 Security Fencing and Perimeter Niches

Proposed development could include alternating sections of stucco wall niche cabinets and metal security fencing along portions of Menaul Boulevard and Edith Boulevard. Proposed development would replace an existing wall and fence.

Security Fencing and Perimeter Niches 2,940 sf (0.07 ac)

3 Sunset House

Proposed development could include landscape improvements for family use in services and receptions, including decks, patios, and ornamental plantings.

Sunset House 2,985 sf (0.07 ac)

4 Operations and Maintenance Compound

Proposed development could include a consolidation of vehicle maneuvering and outdoor equipment/ material storage space and a consolidation of existing small outbuildings and covered storage areas into fewer buildings.

Operations and Maintenance Compound 8,156 sf (0.19 ac)

5 Block 28 Expansion

Proposed development could include more graves added in the area reclaimed by Operations and Maintenance Compound consolidation (refer to description above). Other improvements could include stucco wall entry features, screen fencing, and ornamental plantings.

Block 28 Expansion 15,318 sf (0.35 ac)

6 Block 28 Improvements

Proposed developments could include stucco wall entry feature at front and stucco wall niche cabinets along the east side.

Block 28 Improvements 922 sf (0.02 ac)

7 Pueblo Esperanza Expansion

Proposed developments could include additional mausoleum buildings, stucco wall niche courts, planter and garden bed cremation inventory, and associated landscape plantings. Improvements could be built in phases and be similar to the existing Phase I.

Pueblo Esperanza Expansion 24,405 sf (0.56 ac)

Total Proposed Areas of Development 61,611 SF (1.42 acres)

8 Future Development

Two areas of future, long range development will remain on the property and are not included in this submittal request for Master Plan Development (MDP).

Future Development 34,525 sf (0.79 ac)

NOTE: REFER TO ENLARGEMENTS FOR ADDITIONAL INFORMATION.



OVERALL MAP

PROPOSED DEVELOPMENT MASTER SITE PLAN

SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

TOTALS:

Total Proposed Areas of Development	61,611 SF (1.42 acres)
Total Existing Area of Cemetery	1,659,013 SF (39.0857 acres)
Total Proposed Percentage of Overall Area	3.71 %

LEGEND:

	RECENT DEVELOPMENT
	PROPOSED DEVELOPMENT
	PROPERTY LINE
	PROJECT BOUNDARY

9.2019

PROPOSED PROJECTS

Notes, Descriptions, and Area Calculations

Notes:

1. Development shown is proposed over the next eight (8) years.
2. All areas of proposed cemetery improvements are owned by and will be developed solely by Sunset Memorial Park (SMP).
3. The entire SMP property is zoned NR-SU (Non-Residential Sensitive Use). Existing use is for cemetery purposes only. Proposed uses will also be cemetery purposes only to add improvements to meet the burial, entombment, and inurnment needs.
4. Proposed improvements will be developed using the design guidelines included in these submittal documents, and will closely match the existing design style and materials of the existing projects adjacent to them.
5. Estimated phases are shown for Pueblo Esperanza only. Other T.B.D.
6. Refer to Overall Map for more information.

Descriptions:

① Pueblo Esperanza Expansion

Proposed developments will include additional mausoleum buildings, stucco wall niche courts, planter and garden bed cremation inventory, and associated landscape plantings. Improvements would be built in phases and be similar to the existing Phase I.

- (A) Twin-sided mausoleums at east and west sides of a plaza
- (B) Multiple single-sided mausoleums and niche courts along Menaul Boulevard
- (C) Large shelter, niche courts, and cremation gardens
- (D) Single-sided mausoleums, niche courts, and cremation gardens

Estimated Development 24,405 SF (0.56 ac)

② Sunset House / Section 28 / Maintenance Complex Improvements

(A) Sunset House

Proposed development will include landscape improvements for family use in services and receptions in the form of decks, patios, ornamental plantings, and additional parking.

Estimated Development 2,985 SF (0.07 acres)

(B) Operations and Maintenance Compound

Proposed development will include a reduction of vehicle maneuvering and outdoor equipment/ material storage space and a consolidation of existing small outbuildings and covered storage areas into fewer buildings.

Estimated Development 8,156 SF (0.19 acres)

(C) Block 28 Expansion

Proposed development will include more graves added in the area reclaimed by Operations and Maintenance Compound consolidation (refer to description above). Other improvements could include stucco wall entry features, screen fencing, ornamental plantings, additional parking and visitor facilities.

Estimated Development 15,318 SF (0.35 acres)

(D) Block 28 Improvements - Entry and Niches

Proposed developments will include stucco wall entry feature at



① PUEBLO ESPERANZA EXPANSION



② SUNSET HOUSE / SECTION 28 / MAINTENANCE COMPOUND IMPROVEMENTS

SHEET 3 OF 9

Total Proposed Development (this sheet) 51,786 sf (1.19 ac)

9.2019

cpra studio, llc
9635 north rampart range road
littleton, colorado 80125
www.cprastudio.com
303.683.5917



ENLARGEMENTS - SHEET 1

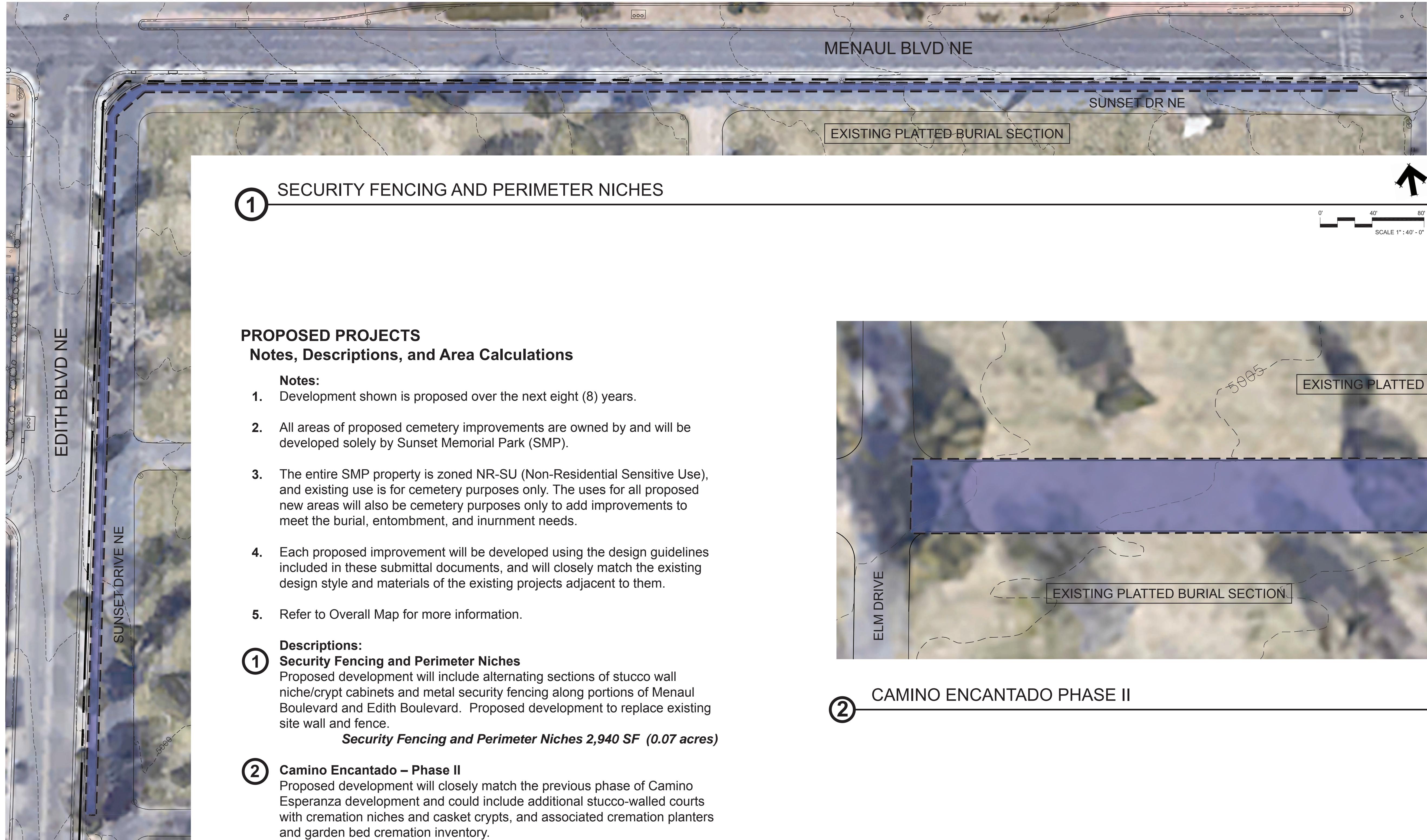
PROPOSED DEVELOPMENT

MASTER SITE PLAN

SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

LEGEND:

- PROPERTY LINE
- PROJECT BOUNDARY



SHEET 4 OF 9

ENLARGEMENTS - SHEET 2

PROPOSED DEVELOPMENT
MASTER SITE PLAN

SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

LEGEND:

PROPERTY LINE



PROJECT BOUNDARY

9.2019
cpra studio, llc
9635 north rampart range road
littleton, colorado 80125
www.cprastudio.com
303.683.5917

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Cemetery Design Guidelines



Submitted per requirements for:
Master Development Plan
Sunset Memorial Park
924 Menaul Boulevard NE, Albuquerque, NM

The following guidelines are intended for use in future designs of proposed site improvements listed in the Master Development Plan for Sunset Memorial Park. They include categories of design guidelines for Site Development, Buildings and Site Structures, and Landscape Development.

I. Site Development

A. Land Use and Site Access

1. Design of proposed site improvements shall remain solely for cemetery and funeral home type land uses, including additional grave plots, cremation gardens, mausoleums, chapels, committal shelters, staff and visitor-support buildings, roads and parking, walkways, landscaping and other elements.
2. Existing vehicle and pedestrian points of access shall be maintained from historical entries on Menaul and Edith Boulevards.



View of Committal Shelter in Centennial Garden

B. Grading and Drainage

1. Design of proposed cemetery improvements shall comply with requirements listed in the City of Albuquerque Integrated Development Ordinance (IDO) and State of New Mexico regulations.
2. Unfavorable site grading and drainage issues in areas of proposed new cemetery improvements shall be identified and designs shall include remediation measures.
3. To the maximum amount possible, the design of proposed cemetery improvements shall incorporate Best Management Practices (BMPs) for on-site water management, including the capture, cleaning, conveyance, storage, and percolation of precipitation.
4. Where possible, natural precipitation shall be harvested for the supplemental use in irrigation of existing and proposed site plantings using lawn swales, detention and infiltration basins, built channels and spreaders, and directed downspouts on structures.
5. Where needed, retaining walls shall be used to improve site conditions, with more, shorter walls and graded slopes used to minimize structural and appearance issues.

C. Site Signage

1. No additional property signage is proposed in this Master Development Plan (MDP).
2. Design of new garden identification signage within the cemetery is proposed and shall comply with regulations listed in the IDO.
3. Site identification signage for proposed cemetery improvements shall be designed to match existing signage in size, proportions, materials, colors, and font types.
4. The design and placement of all new site identification signage shall consider vehicular and pedestrian visibility and safety concerns.



Garden Identification Signage at Centennial Garden

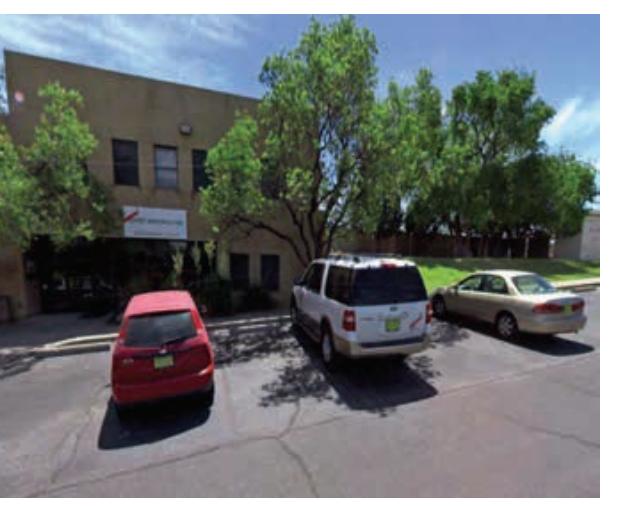
I. Site Development (continued)

D. Private Cemetery Roads

1. No new roads are proposed in this MDP. If determined to be necessary in any future cemetery improvements, new roads shall comply with requirements of the IDO.

E. Cemetery Parking

1. Design of proposed cemetery parking improvements shall comply with requirements listed in the IDO.
2. On street parking shall be preserved to the highest amount possible when proposed new cemetery improvements are constructed.
3. As cemetery improvements are made accessible parking spaces shall be located in numbers and layouts that comply with American with Disabilities Act Design Guidelines (ADA) and International Building Code (IBC) requirements.



Parking at Cemetery Office

F. Walks and Plazas

1. Design of walks and plazas in proposed cemetery improvements shall comply with requirements listed in the IDO.
2. Walkways shall be provided to ensure safe access to and through existing and proposed cemetery improvements.
3. Proposed new walks shall provide access to and from the parking areas nearest to the proposed development.
4. Where possible, proposed new walks shall match existing sizes and materials, including standard and colored concrete, stone or concrete unit pavers, and crusher fines (decomposed granite) paths.
5. Proposed new cemetery walks shall comply with ADA and IBC requirements for sizes, curb ramps, accessible routes, maneuvering space, and other issues.



Cemetery Walks and Shelter at Plaza Esperanza

G. Outdoor Lighting

1. Because the cemetery closes at dark, with no public activities normally scheduled, no public outdoor lighting will be provided in proposed improvements.
2. If outdoor lighting is determined to be necessary in proposed cemetery improvements, it shall comply with regulations listed in the IDO and IBC.
3. Site lighting for the safety of cemetery staff and security of facilities shall be provided and comply with requirements listed in the IDO and IBC.

H. Site Utilities

1. Primary site utility service lines, including electrical, gas, water, storm and sanitary sewer, and communications, currently extend to primary buildings only. Secondary limited electrical and water services lines also extend to limited site structures and garden areas.
2. Design, construction, and maintenance of all site utility improvements in proposed new developments shall comply with all requirements listed in the IDO and IBC.



Historic Front Gate at Menaul Boulevard

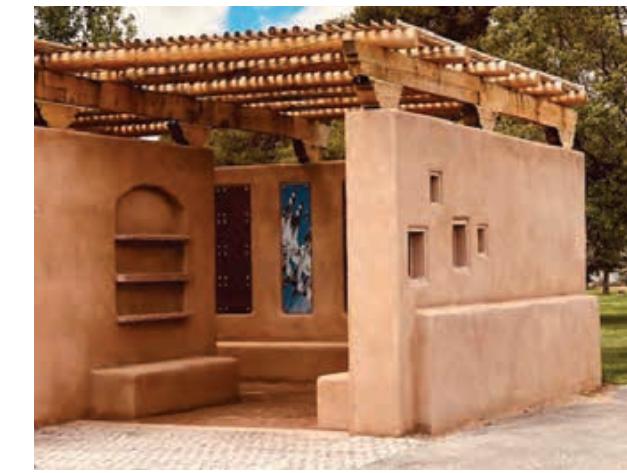
I. Gates and Fences

1. Existing vehicle gates exist along Menaul and Edith Boulevards to provide vehicle access to the cemetery. No additional gates are needed for proposed improvements.
2. Ornamental fences currently exist along Menaul and Edith Boulevard.
3. Design of site fencing in proposed cemetery improvements shall comply with requirements listed in the IDO.
4. Design of site fencing in proposed cemetery improvements shall include colors, materials, and styles, or compliment those, used in other fencing on the property.

II. Buildings and Site Structures

A. Buildings

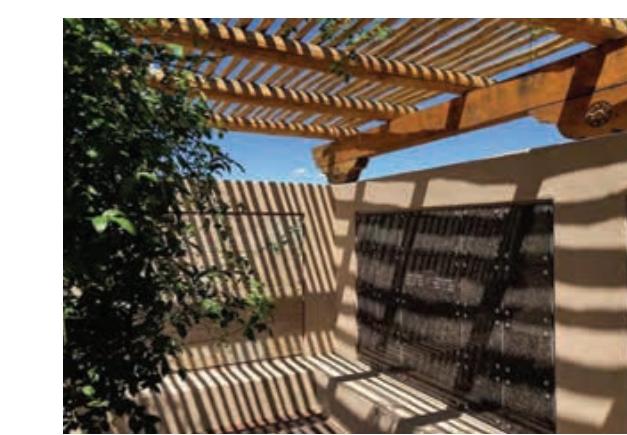
1. Proposed new cemetery buildings shall comply with setback distances, overall height, and/or stepping requirements listed in the IDO.
2. Proposed cemetery buildings shall match or be complimentary of existing design styles, massing, and materials of existing buildings, including multi-phase developments.
3. Renovated buildings shall follow the setback distance, overall height, and stepping requirements listed in the IDO.
4. Proposed or renovated support buildings shall be screened from city streets and cemetery visitors using screen walls, fences, and/or plantings.



Niche Court Located Along Menaul Boulevard

B. Site Structures

1. Proposed site structures shall comply with setback, height, and stepping requirements listed in the IDO.
2. Site structures proposed in new cemetery improvements shall match or compliment the design styles, massing, and materials of similar structures existing in the cemetery.



Niche Court Wall and Planting Details

C. Architectural Style

1. Proposed new cemetery administration and support buildings shall be designed to match or be complimentary of the Pueblo Revival design style used in recent developments.
2. Proposed mausoleums, niche courts and niche wall structures shall be designed to match or be complimentary of the Pueblo Revival design style used in recent developments.
3. Proposed entry gates, garden walls, and related site structures shall be designed to match or be complimentary of the Pueblo Revival design style used in recent developments.
4. Proposed new construction or renovations to operations and maintenance buildings shall be designed to match or be complimentary of the utilitarian style of existing buildings.
5. Proposed garden planters, memorial markers, and hardscape improvements shall be designed to match or be complimentary of the site design styles used in recent developments.



Architectural Detail of Niche Courts in Centennial Garden

D. Materials and Construction

1. Proposed building improvements and major site structures shall include materials that match or are complimentary to those existing in nearby structures, including wood posts, corbels, vigas, latillas, and stucco materials for site walls, built-in banco seating, and nicho shelves.
2. Proposed site wall-related cemetery inventory improvements shall incorporate materials similar to existing inventory, including niches, crypts, granite and other stone covers, metals, ceramic panels, and custom art pieces.



Shade Structure Wood Detail in Centennial Garden

III. Landscape Development

A. Landscape Plantings

1. Proposed plantings shall be selected from a proven list of natives and hardy deciduous and evergreen trees, shrubs, ornamental grasses, perennials, and seasonal annuals to enhance the existing cemetery plantings and add to the arboretum character of the cemetery.
2. Proposed plantings shall incorporate native and low-water use plant species to reduce the amount of irrigation water required throughout the growing season.
3. Proposed plantings shall consider visitor use patterns to create valuable shade and screen improvements from road noises and visual distractions.
4. Proposed new lawn areas in cemetery improvement areas shall incorporate low-water use type turf grasses to reduce the amount of irrigation water required.
5. Proposed cemetery improvements shall include the latest, most efficient irrigation system technologies available to reduce the amount of irrigation water required.
6. All plantings in proposed development shall be properly installed, irrigated, and maintained using landscape maintenance industry BMPs and all requirements listed in the IDO.



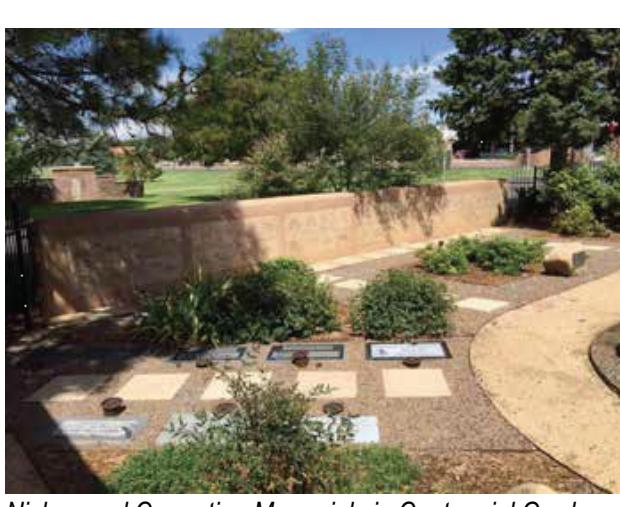
Native and Drought-Hardy Plantings Used in All Gardens



Diverse Plantings Enhance Garden Interiors



Site Amenity Details at Camino Encantado



Niches and Cremation Memorials in Centennial Garden

IV. Design Guideline Notes

A. General

1. Sunset Memorial Park has been a sole-use cemetery with funeral home and support buildings since it opened in 1929.
2. Sunset Memorial Park is registered with the State of New Mexico as an Endowed Care Cemetery and will continue to meet all regulatory requirements to maintain this standing.
3. Cemetery improvements proposed in this MDP will continue the development of the property for sole-use cemetery purposes forever.
4. Cemetery improvements proposed will be developed incrementally over the duration of the approval of the MDP using supplemental CABQ Site Development Plan (SDP) processes and timelines.

RECENT DEVELOPMENT DESCRIPTIONS

Existing Projects listed below and shown on the plan have been developed at the cemetery since 2008 by Administrative Amendment to the Approved SDP initially dated 2/1987. Refer to Exhibits 1 and 2 for more information.

Existing Projects:

- ① CENTENNIAL URN GARDEN (PHASE I & II)
Cremation Niche Walls, Garden Memorials, Cenotaphs, Fountains, and Committal Shelter
- ② BEST FRIENDS FOREVER PET SECTION
Pet and Pet/Human Cremation Niche Walls and Ground Memorials
- ③ PLAZA ESPERANZA
Large Committal Shelter, Grave Plots and Estates, and Cremation Ground Memorials
- ④ PUEBLO ESPERANZA
Mausoleum with Casket Crypts and Niches, Cremation Niche Courts, and Kiva Ossuary and Cenotaphs, and Small Committal Shelter
- ⑤ CREMATORIAL BUILDING
New Building for Crematory Machines, Viewing Room, and Related Equipment
- ⑥ CAMINO ENCANTADO (NORTH & SOUTH)
Mixed Use Developments with Grave Plots and Estates, Cremation Niche Walls, and Cenotaphs
- ⑦ BLOCK 28 GRAVE SECTION
Grave Plots and Cremation Niche Walls

Cemetery Improvements Prior to 2008:

- A PRIMARY VEHICLE ENTRANCE
- B OPERATIONS & MAINTENANCE COMPOUND
- C CEMETERY OFFICES
- D CHESTER T. FRENCH MEMORIAL MAUSOLEUM
- E FREEDOM WAY MAUSOLEUM
- F SECONDARY VEHICLE ENTRANCE



SHEET 6 OF 9

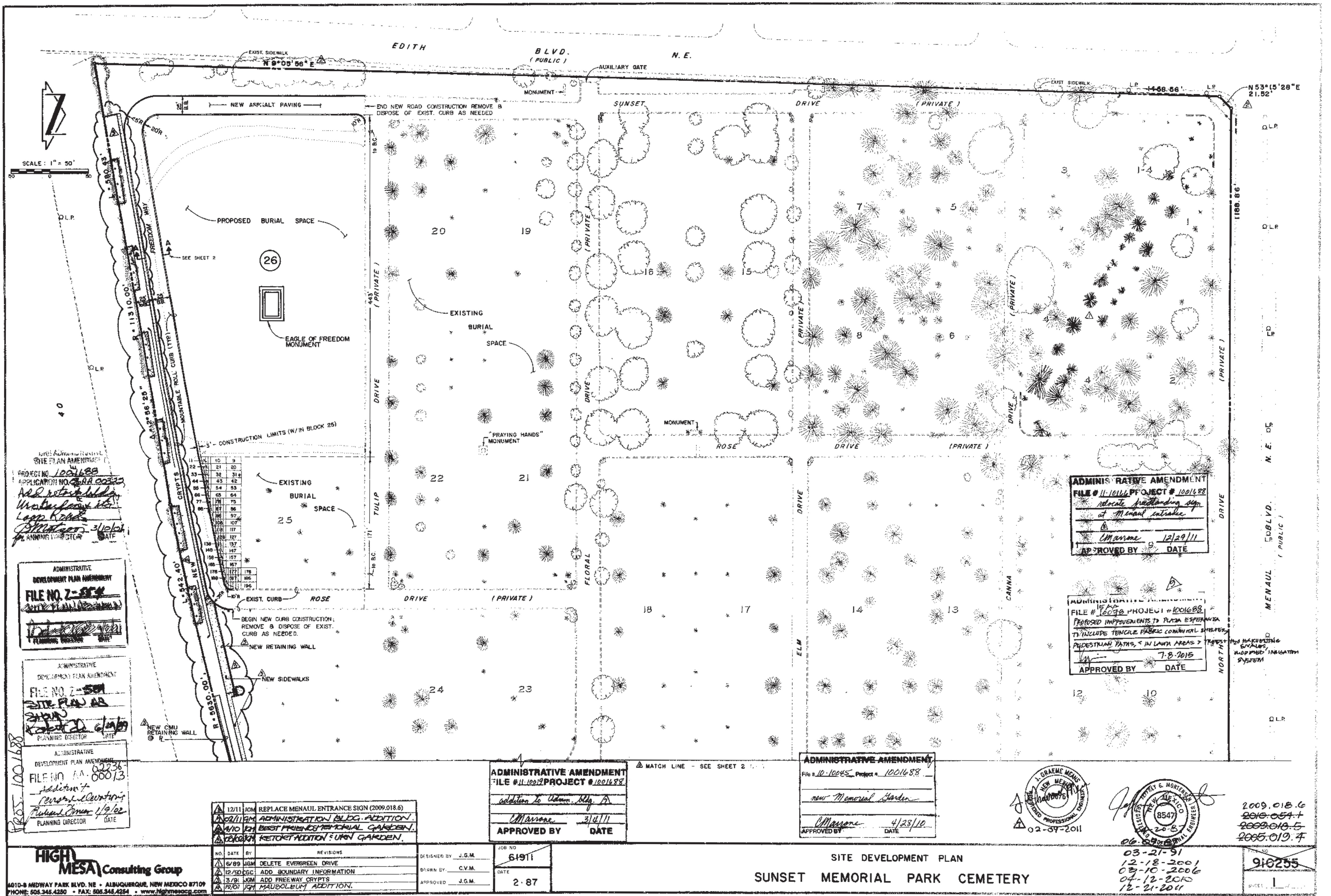
OVERALL PLAN RECENT DEVELOPMENT MASTER SITE PLAN

SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

9.2019

cpra studio, llc
9635 north rampart range road
littleton, colorado 80125
www.cprastudio.com
303.683.5917





PREVIOUSLY APPROVED SDP WITH ADMENDMENTS

EXISTING DEVELOPMENT MASTER SITE PLAN

MASTER SITE PLAN

SUNSET MEMORIAL PARK ALBUQUERQUE NM

SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

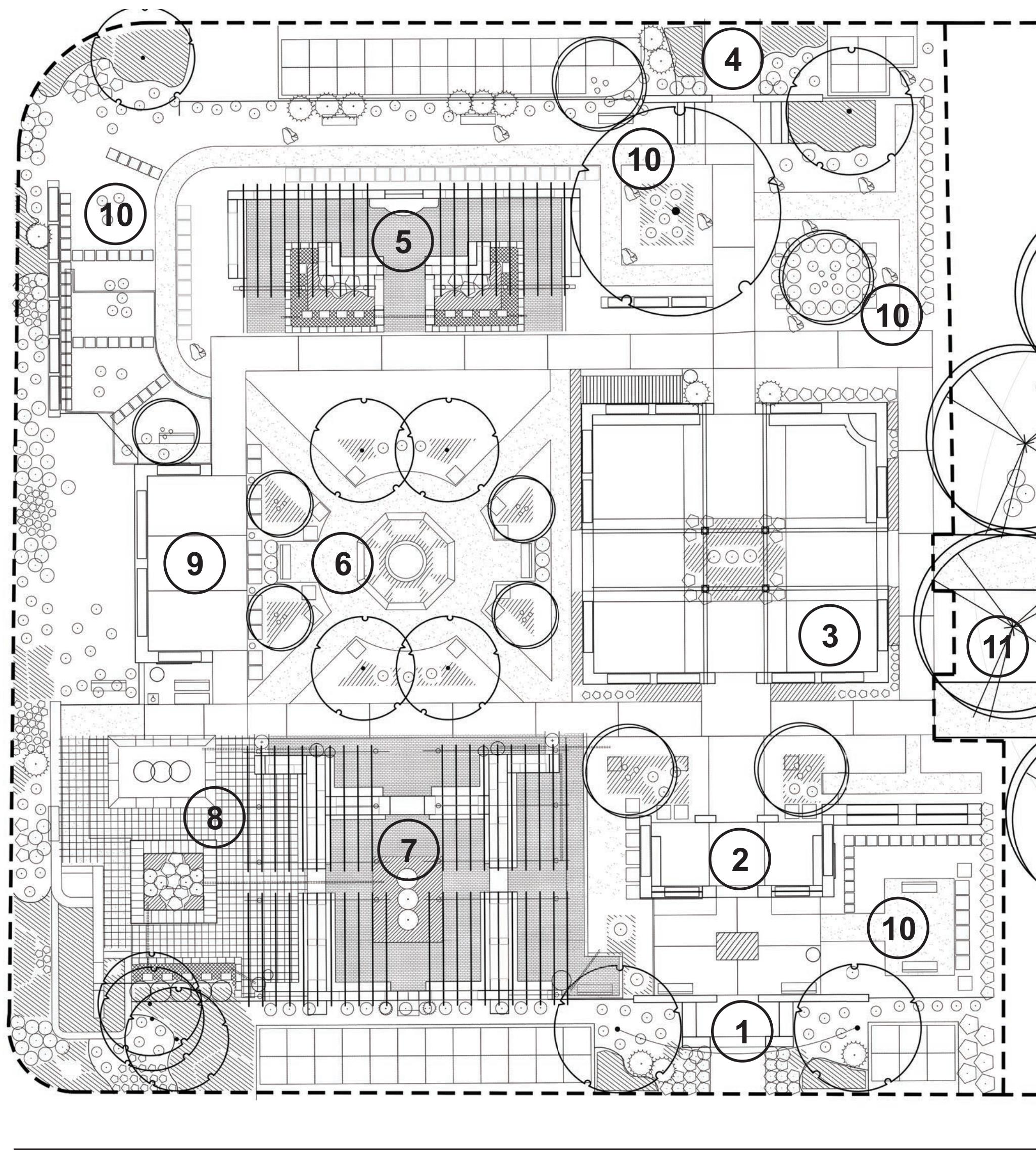
SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

SHEET 7 of 9

ora studio, llc
535 north rampart range road
ittleton, colorado 80125

www.cprastudio.com
03.683.5917

The logo for CPR, featuring a stylized graphic of vertical bars in varying shades of gray and a red lowercase 'cpr'.



LAYOUT PLAN

Centennial Urn Garden - Phase I and Phase II

The Centennial Urn Garden was the first outdoor cremation garden undertaken at Sunset Memorial Park in recent years. Proposed in the undeveloped northeast corner of the property, it was the first development proposed within a larger area envisioned as a "pueblo" collection of similar cemetery structures and gardens. Constructed in two phases, begun in 2008 and completed in 2012, the garden incorporates a range of cremation inurnment options and gatherings spaces. The garden was named to commemorate the 100th anniversary of the French Company providing funeral home and cemetery services in Albuquerque.

The layout of the Urn Garden incorporates a series of entry gates, free-standing site walls, and niche court structures that include niche cabinets, planter and ground-based cremation placement options, and cenotaph memorials. A central fountain anchors a large central plaza, and the largest niche structure is also used for committal services for the urn garden and surrounding cemetery areas. Plantings of native trees, shrubs, grasses, and groundcovers complete the Southwestern style of landscape improvements.

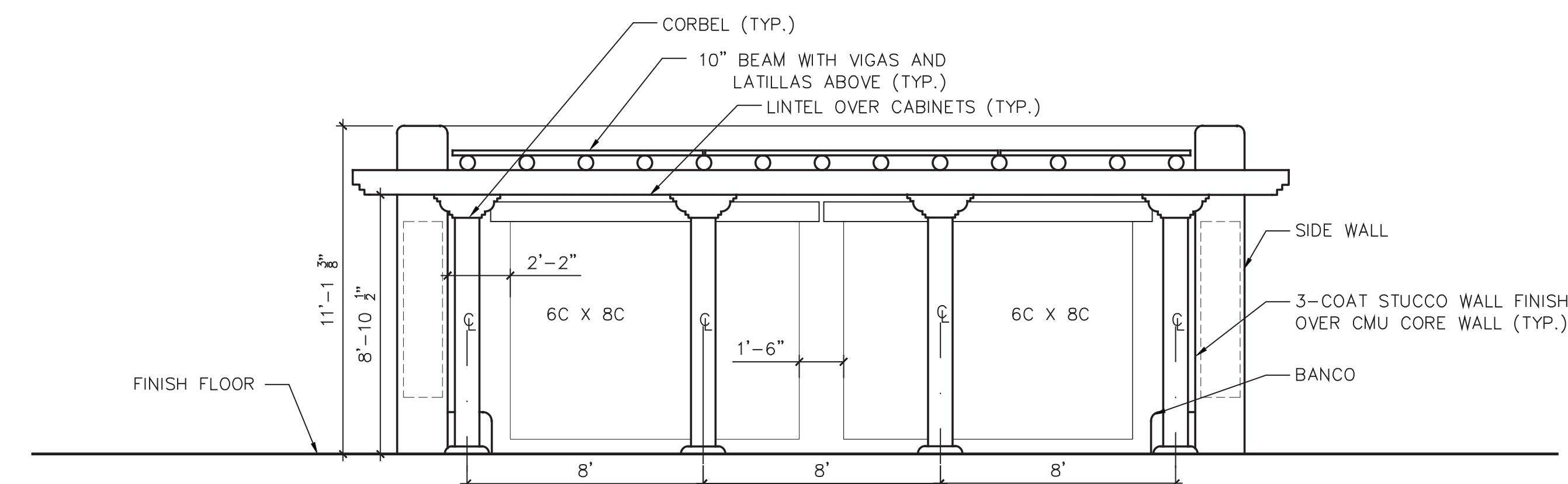
CENTENNIAL URN GARDEN

EXHIBIT #1: RECENT DEVELOPMENT MASTER SITE PLAN

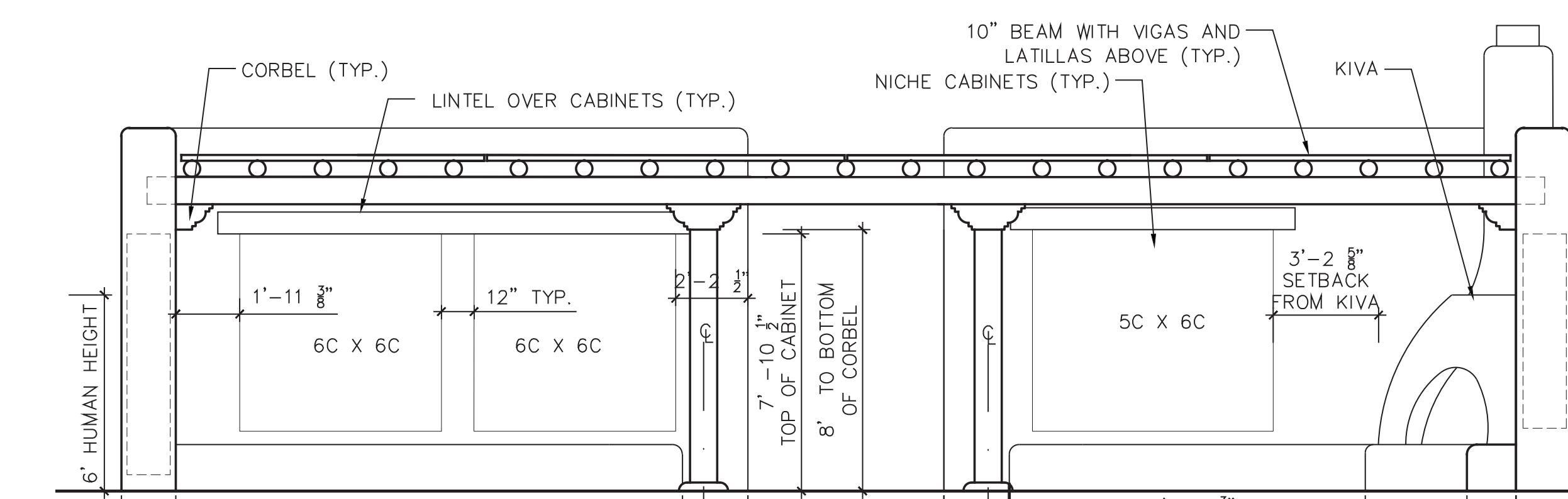
SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

LEGEND:

- 1 MAIN ENTRANCE
- 2 ROSE GATE
- 3 LARGE SHELTER
- 4 NORTH ENTRANCE
- 5 NORTH NICHE COURT
- 6 FOUNTAIN PLAZA
- 7 SOUTH NICHE COURT
- 8 LOBO COURT
- 9 WEST NICHE COURT
- 10 CREMATION GARDEN AREAS
- 11 PLAZA ESPERANZA



WEST NICHE COURT - EAST ELEVATION

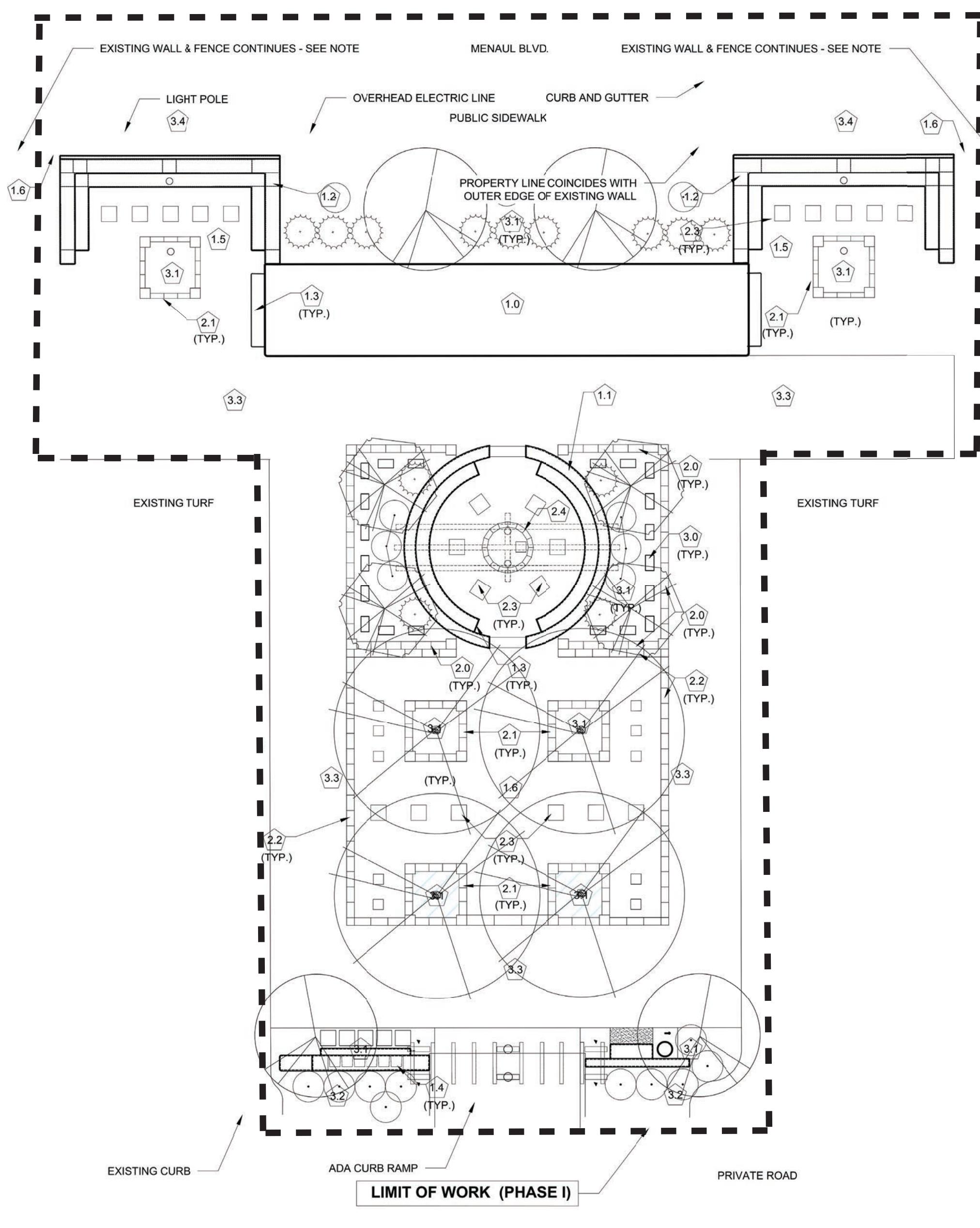


LARGE SHELTER - INTERIOR ELEVATION

SHEET 8 OF 9

The architectural style used in the design of the structures is "Pueblo Revival" or "Santa Fe" style. The varied walls and courts are constructed of reinforced CMU core walls, pre-cast niche cabinets, and a 3-coat stucco finish to achieve the desired appearance. Concrete and aggregate-paved walkways provide pedestrian circulation throughout the garden, and wood viga/latilla shade structures are used in several locations. Metal fencing complements the stucco walls, and benches and built-in bancos provide seating in several locations. The color of the finish was selected to match other existing buildings on the Sunset Memorial Park property.

The overall size of the combined urn garden is approximately 21,870 SF (.50 ac), with an estimated 62% being structures and hardscape and 38% being planted lawns and landscape areas.



LAYOUT PLAN

Pueblo Esperanza – Phase I

The Phase I development of the Pueblo Esperanza (Pueblo of Hope) was constructed in 2016 to provide the first new outdoor casket mausoleum at the cemetery in a number of years. The collection of structures is located along the north property boundary along Menaul Boulevard, and appears as a series of attractive buildings, courts, and plantings to passersby on the street.

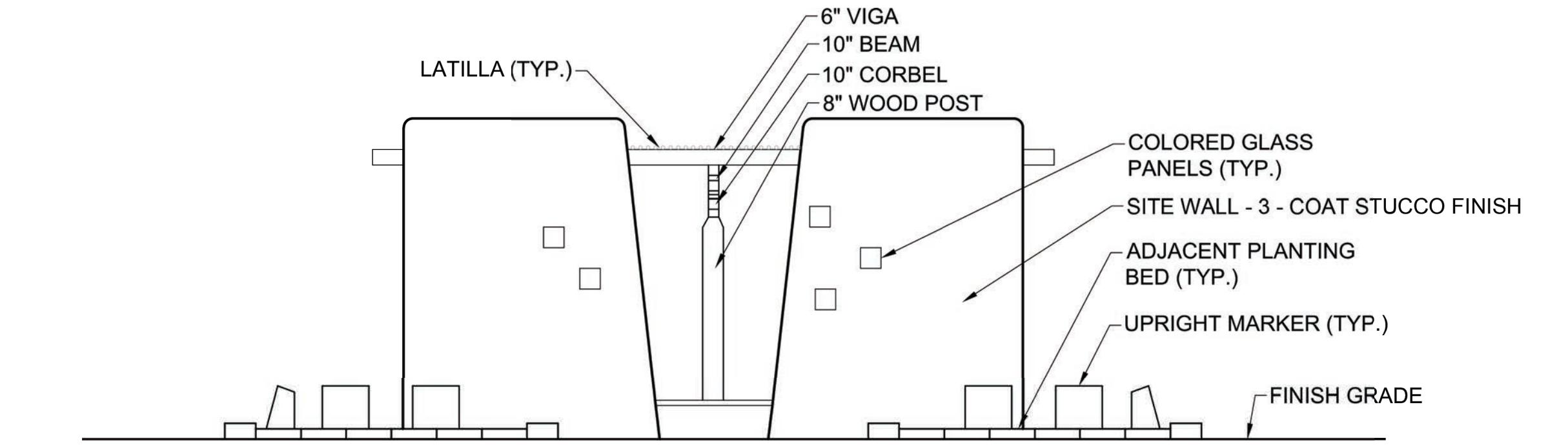
The layout for the section incorporates a single-sided outdoor mausoleum with niche wall courts at each end placed along the street to help block vehicle noise and visual clutter from visitor areas. A circular, above-ground "kiva" committal shelter and ossuary structure is located in front (south) of the mausoleum and adjacent to a large paved memorial plaza with ground based inurnment options.

PUEBLO ESPERANZA EXHIBIT #2: RECENT DEVELOPMENT MASTER SITE PLAN

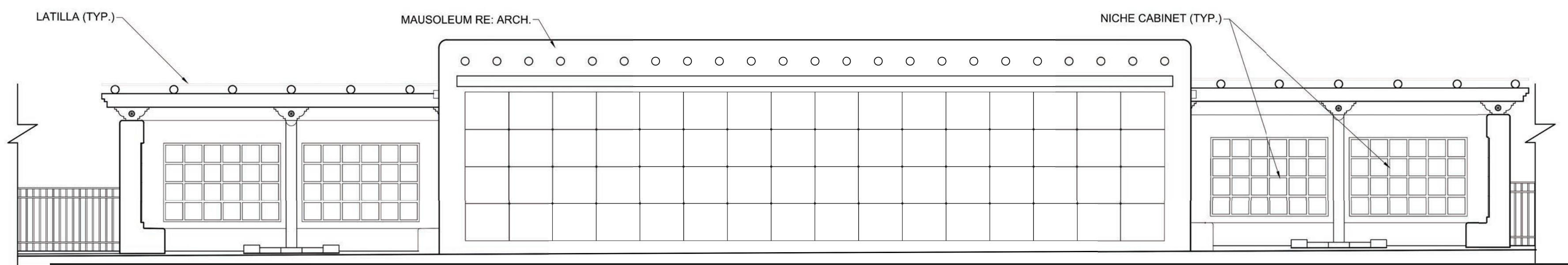
SUNSET MEMORIAL PARK, ALBUQUERQUE, NM

LEGEND

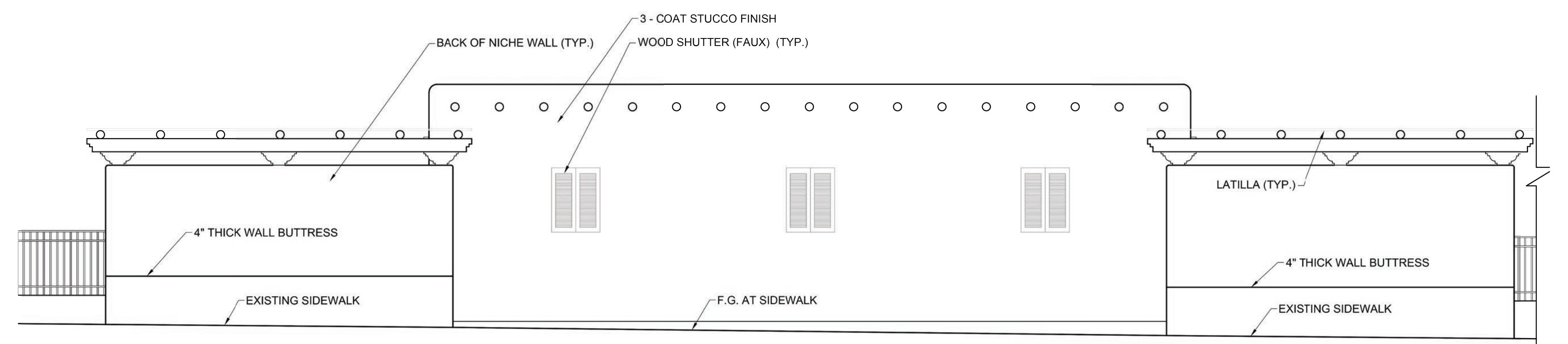
1.0	MAUSOLEUM, STUCCO FINISH - SEE MATERIAL NOTES	2.1	MEMORIAL CURBING 16" LENGTH - SEE VARIOUS DETAILS
1.1	OSSUARY KIVA STRUCTURE, STUCCO FINISH - SEE VARIOUS DETAILS	2.2	MEMORIAL PAVERS - SEE DETAIL 5 ON SHEET L - 7
1.2	NICHE WALLS, STUCCO FINISH - SEE VARIOUS DETAILS	2.3	SPECIAL PAVING - SEE DETAIL 6 ON SHEET L - 7
1.3	BANCO SEATING, STUCCO FINISH - SEE VARIOUS DETAILS	2.4	OSSUARY PLANTER - SEE VARIOUS DETAILS
1.4	42" ENTRY WALL, STUCCO FINISH - SEE DETAIL 10 ON SHEET L - 7	3.0	MEMORIAL UPRIGHT MARKERS - SEE VARIOUS DETAILS
1.5	NICHE COURT - SEE VARIOUS DETAILS	3.1	PLANTING BED - SEE PLANTING PL...
1.6	INFILL CMU BLOCK WALL - SEE NOTES	3.2	SOD
1.7	MEMORIAL PLAZA, CONCRETE PAVERS - SEE DETAIL 1 ON SHEET L - 7	3.3	CONCRETE PAVEMENT
2.0	MEMORIAL CURBING 18" LENGTH - SEE VARIOUS DETAILS	3.4	REPLACEMENT CONCRETE PAVEM... - SEE MATERIAL NOTES



KIVA - SOUTH ELEVATION



MAUSOLEUM / NICHE COURTS - SOUTH ELEVATION




MAUSOLEUM / NICHE COURTS - NORTH ELEVATION

Similar to other cemetery improvements within the overall Pueblo area, the architectural style of the mausoleum, niche courts, and kiva structure is of the “Pueblo Revival” style. Materials and colors also match nearby developments.

The overall size of the Pueblo Esperanza area development is 6,300 SF (0.12 ac), with an estimated 90% being structures and hardscape and 10% being planted landscape areas.


SHEET 9 OF 9



NOTE: THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON AN BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 10/21/2014 (2014.042.3). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 10/21/2014 (2014.042.2). PUBLIC STORM DRAINS DEPICTED HEREON BASED UPON CITY OF ALBUQUERQUE STORM DRAIN FACILITIES MAP H-15.

HIGH MESA Consulting Group

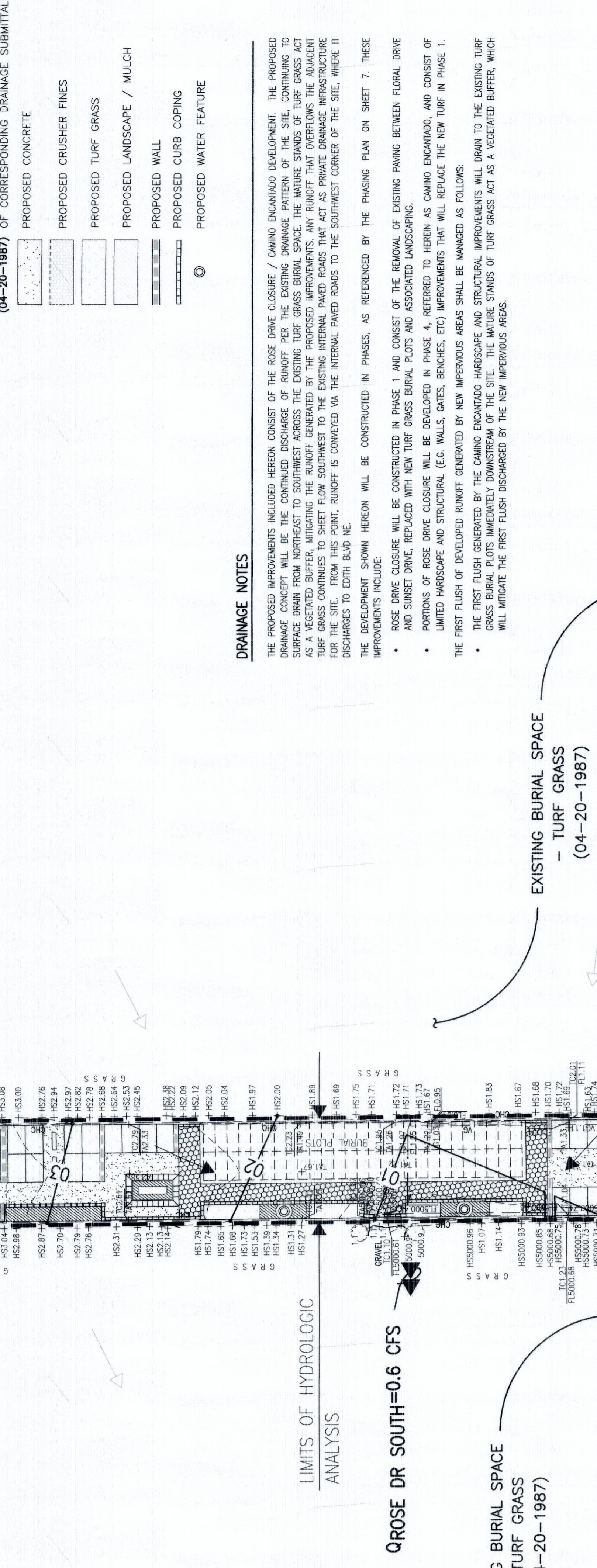
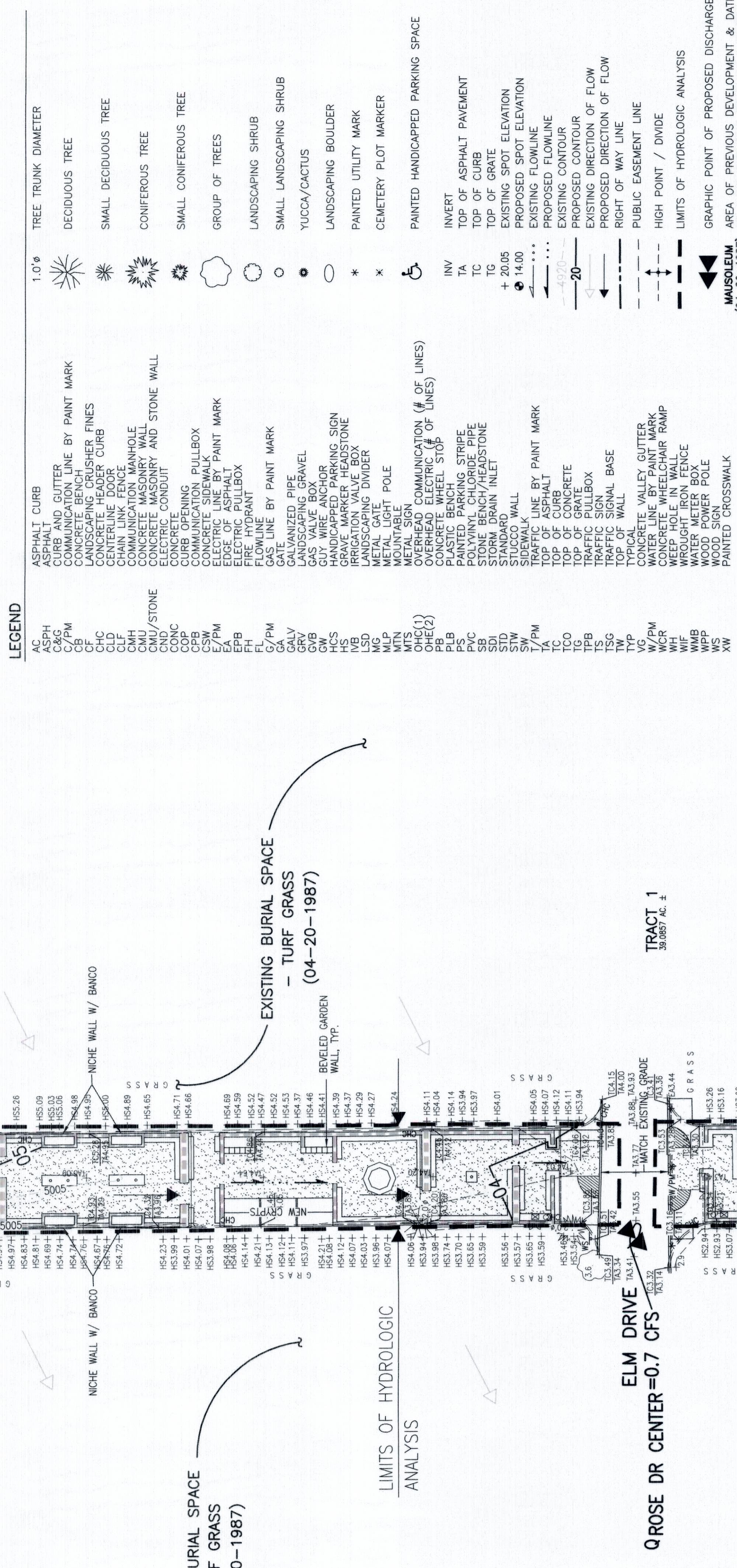
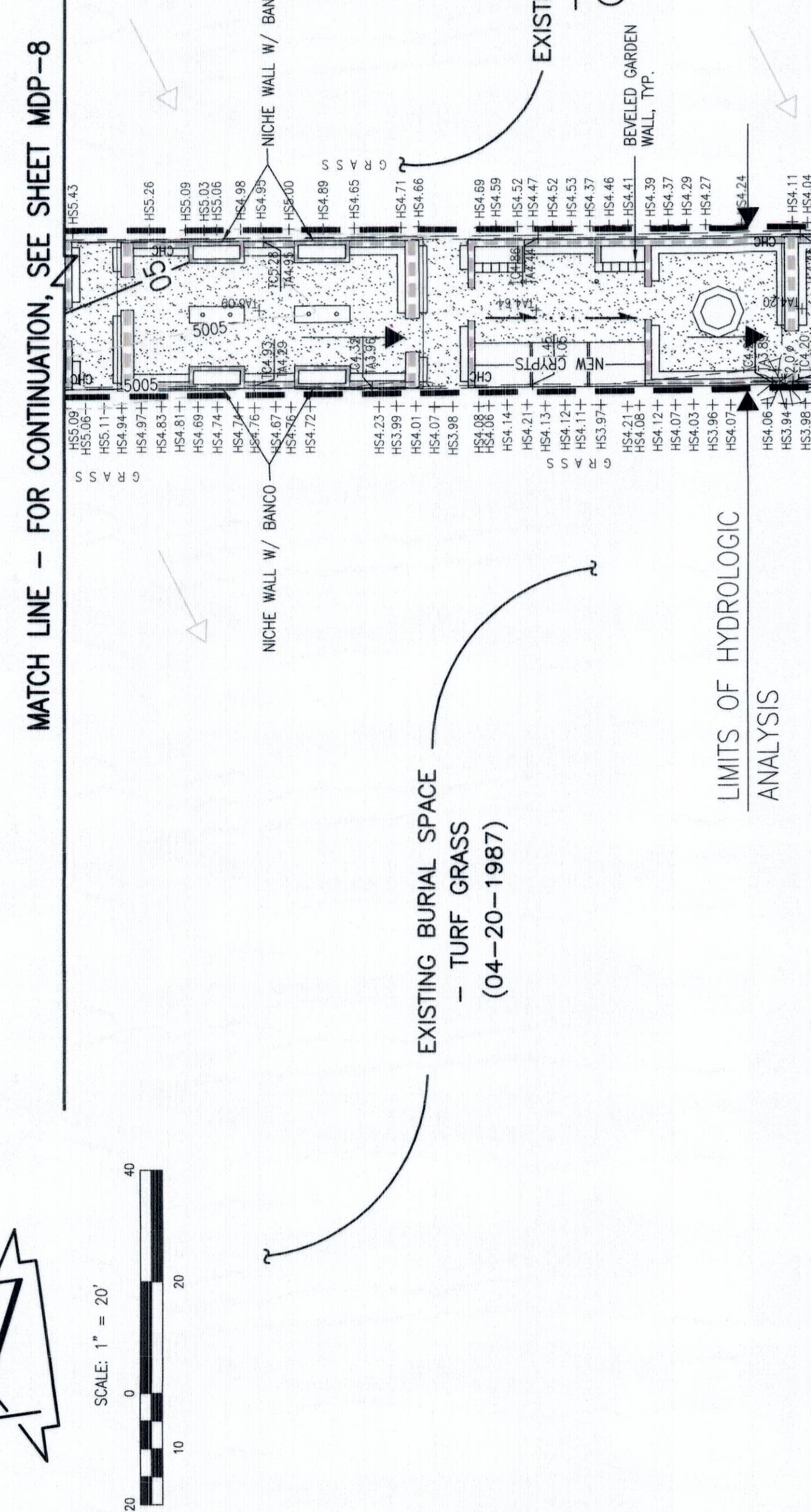
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com



HIGH MESA Consulting Group

MASTER DRAINAGE PLAN UPDATE PHASING PLAN SUNSET MEMORIAL PARK

JDB NO. 2014.079.2 DATE



DRAINAGE NOTES

THE PROPOSED IMPROVEMENTS INCLUDED HEREON CONSIST OF THE ROSE DRIVE CLOSURE / CAMINO ENCANTADO DEVELOPMENT. THE PROPOSED DRAINAGE CONCEPT WILL BE THE CONTINUED DISCHARGE OF RUNOFF PER THE EXISTING DRAINAGE PATTERN OF THE SITE, CONTINUING TO SURFACE DRAIN FROM NORTHEAST TO SOUTHWEST ACROSS THE EXISTING TURF GRASS BURIAL SPACE. THE MATURE STANDS OF TURF GRASS ACT AS A VEGETATED BUFFER, MITIGATING THE RUNOFF GENERATED BY THE PROPOSED IMPROVEMENTS. ANY RUNOFF THAT OVERFLOWS THE ADJACENT TURF GRASS CONTINUES TO SHEET FLOW SOUTHWEST TO THE EXISTING INTERNAL PAVED ROADS THAT ACT AS PRIVATE DRAINAGE INFRASTRUCTURE FOR THE SITE. FROM THIS POINT, RUNOFF IS CONVEYED VIA THE INTERNAL PAVED ROADS TO THE SOUTHWEST CORNER OF THE SITE, WHERE IT DISCHARGES TO EDITH BLVD NE.

THE DEVELOPMENT SHOWN HEREON WILL BE CONSTRUCTED IN PHASES, AS REFERENCED BY THE PHASING PLAN ON SHEET 7. THESE IMPROVEMENTS INCLUDE:

- ROSE DRIVE CLOSURE WILL BE CONSTRUCTED IN PHASE 1 AND CONSIST OF THE REMOVAL OF EXISTING PAVING BETWEEN FLORAL DRIVE AND SUNSET DRIVE, REPLACED WITH NEW TURF GRASS BURIAL PLOTS AND ASSOCIATED LANDSCAPING.
- PORTIONS OF ROSE DRIVE CLOSURE WILL BE DEVELOPED IN PHASE 4, REFERRED TO HEREIN AS CAMINO ENCANTADO, AND CONSIST OF LIMITED HARDCAPE AND STRUCTURAL (E.G. WALLS, GATES, BENCHES, ETC) IMPROVEMENTS THAT WILL REPLACE THE NEW TURF IN PHASE 1. THE FIRST FLUSH OF DEVELOPED RUNOFF GENERATED BY NEW IMPERVIOUS AREAS SHALL BE MANAGED AS FOLLOWS:
- THE FIRST FLUSH GENERATED BY THE CAMINO ENCANTADO HARDCAPE AND STRUCTURAL IMPROVEMENTS WILL DRAIN TO THE EXISTING TURF GRASS BURIAL PLOTS IMMEDIATELY DOWNSTREAM OF THE SITE. THE MATURE STANDS OF TURF GRASS ACT AS A VEGETATED BUFFER, WHICH

وَالْمُؤْمِنُونَ إِنَّمَا يَنْهَا عَنِ الْمُنْكَرِ وَمَا يَنْهَا عَنِ الْمُنْكَرِ إِلَّا مَا يَرَى

Oct. 1904.

DESIGNED BY J.P.S. REVISIONS

DRAWN BY J.Y.R./J.D.S. I

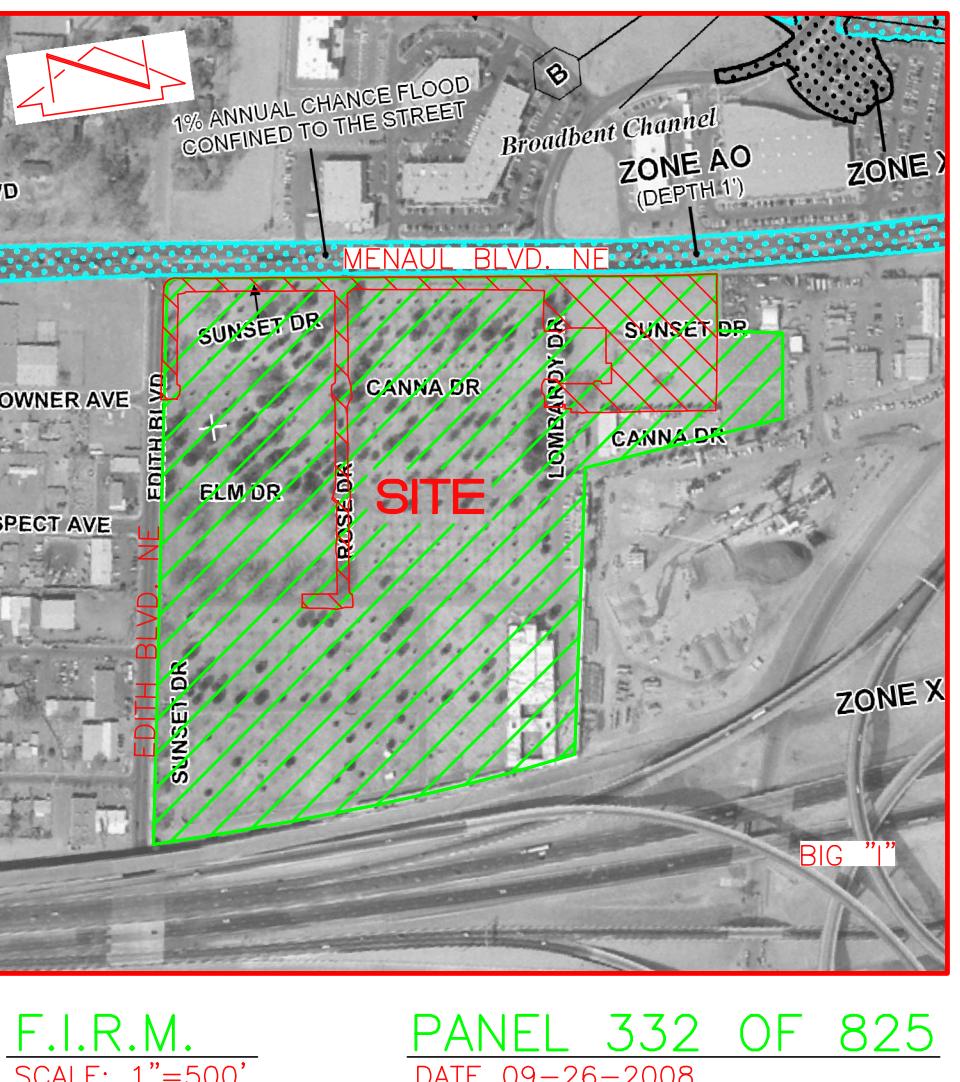
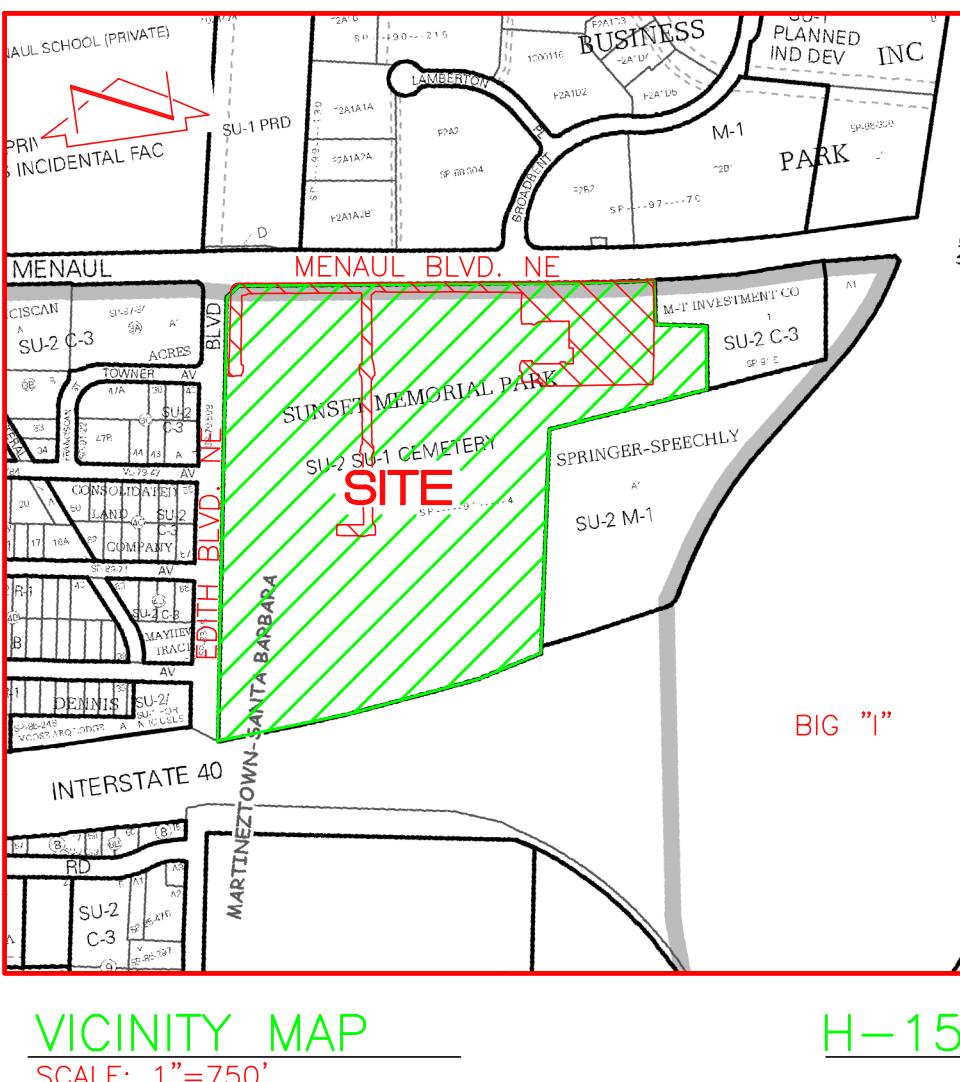
APPROVED BY J.G.M.

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DEVELOPED CONDITIONS - SOUTH
MASTER DRAINAGE PLAN UPDATE
SUNSET MEMORIAL PARK

NOTE: THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON AN BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 10/21/2014 (2014.042.3). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 10/21/2014 (2014.042.2).

FEDERAL EMERGENCY
MANAGEMENT AGENCY



CONTROL SURVEY NOTE

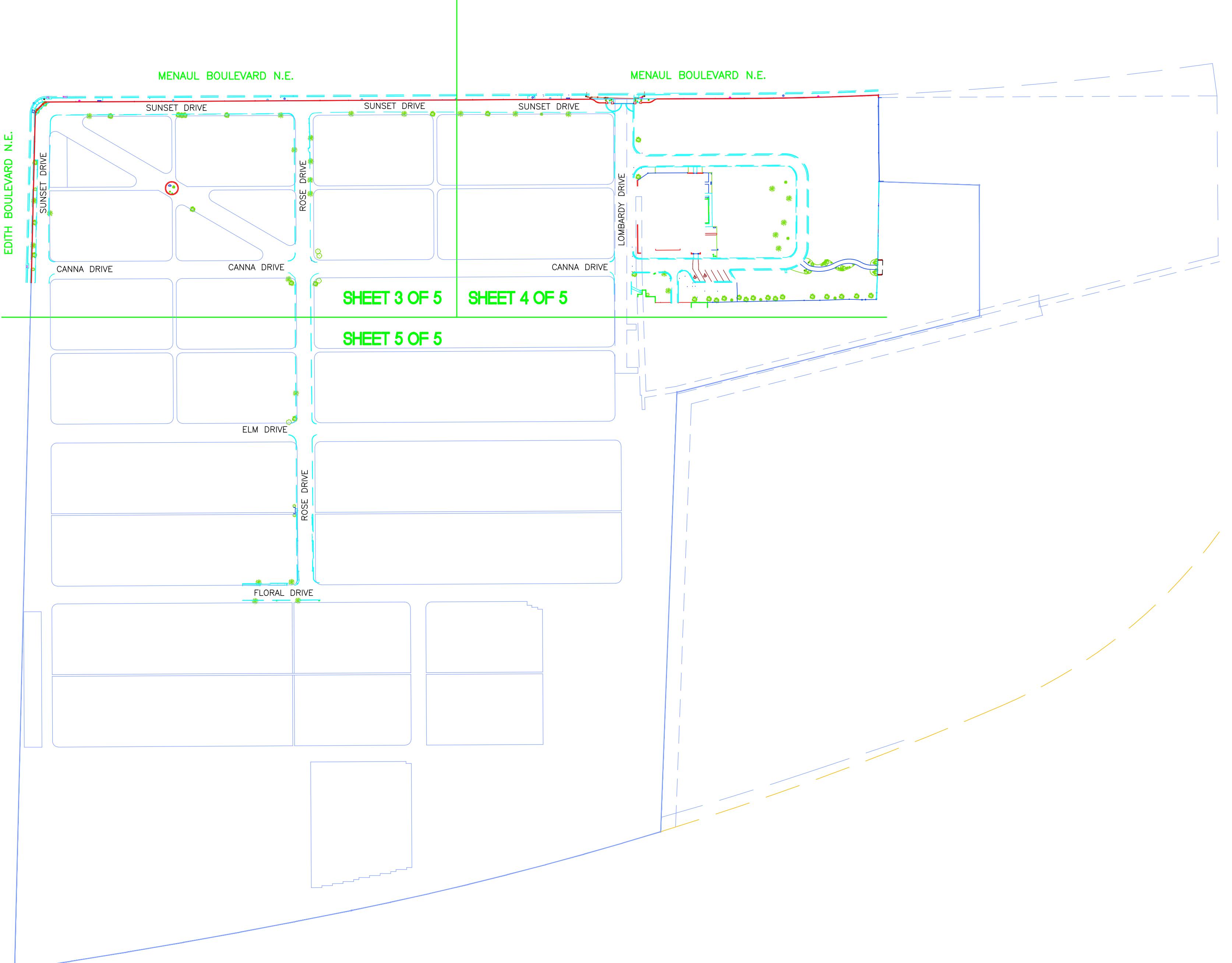
A CONTROL SURVEY WAS CONDUCTED AT THE SITE ON AUGUST 29, 2014. THE VERTICAL ELEVATION OF ONE AGRS CONTROL STATION "11-H15" WAS USED FOR THE PROJECT. CONTROL BENCHMARK CONTROL WAS PROJECTED ONTO THE SUBJECT SITE UTILIZING RTK GPS OBSERVATIONS COMBINED WITH GEODID COAJU108 TO ESTABLISH HORIZONTAL POSITIONS BASED UPON NAD 83/NAVD 88 DATUM. THE RTK OBSERVATIONS WERE USED TO ESTABLISH THE TEMPORARY BENCHMARKS AT THE PROJECT SITE. THE POINTS OBSERVED HAVE BEEN QUALITY CONTROLLED FOR RELATIVE ACCURACY. AN AGRS CONTROL STATION AND A PARTIAL ZONE X CONTROL STATION IN THE VICINITY OF THE PROJECT WERE OBSERVED IN ORDER TO PROVIDE REFERENCE POINTS TO THE SITE. THE AGRS GRID CONTROL STATION COORDINATES HELD WERE FOR "A-438".

LEGAL DESCRIPTION

TRACT 1, SUNSET MEMORIAL PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 08, 1991, PLAT BOOK 91C, PAGE 8, DOC. #199100183.

GENERAL NOTES

1. A BOUNDARY, PARTIAL TOPOGRAPHIC AND UTILITY SURVEY WAS PERFORMED IN SEPTEMBER, 2014. PROPERTY CORNERS WERE FOUND OR SET AS INDICATED.
2. ALL DISTANCES ARE GROUND DISTANCES.
3. SITE LOCATED WITHIN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M. (TOWN OF ALBUQUERQUE GRANT).
4. BEARINGS SHOWN HEREON ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE (NAD 83). THESE BEARINGS ARE POSITIONED FROM AGRS. CONTROL STATION "A-438".
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON SITE SURFACE EVIDENCE AND ABCWUA DISTRIBUTION MAPS. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET # 201436293). UTILITY LINES SHOWN ON THIS DRAWING ARE SHOWN IN A DASHED LINE. THE LOCATION OF ANY EXISTING UTILITY LINES WHICH MAY NOT EXIST, OR ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE SURVEYOR HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THE SURVEYOR MAKES NO REPRESENTATION OR WARRANTY THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. DURING PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE FOLLOWING DOCUMENTS AND INSTRUMENTS WERE USED FOR THE PERFORMANCE AND PREPARATION OF THIS SURVEY:
 - A. PLAT OF SUNSET MEMORIAL PARK, FILED 01-08-1991, PLAT BOOK 91C, PAGE 8, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - B. PLAT OF LANDS OF M-T INVESTMENT COMPANY, FILED 01-08-1991, PLAT BOOK 91C, PAGE 9, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - C. PLAT OF SPRINGER-SPEECHLY, FILED 11-24-1981, PLAT BOOK B19, PAGE 86, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - D. SPECIAL WARRANTY DEED, EXECUTED 12-09-2002, TRACT 1, LANDS OF M-T INVESTMENT COMPANY.
 - E. SPECIAL WARRANTY DEED, EXECUTED 12-09-2002, TRACT A-1, SPRINGER-SPEECHLY.
 - F. WARRANTY DEED, FILED 08-01-1930, BOOK 114, PAGE 421, RECORDS OF BERNALILLO COUNTY, NEW MEXICO
 - G. TITLE SEARCH AND REPORT PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY DATED 09-16-2014, FILE NO. 1406129. (TRACT 1, SUNSET MEMORIAL PARK).
7. THIS PARTIAL TOPOGRAPHIC AND UTILITY SURVEY HAS BEEN PREPARED BASED UPON NAVD 88 DATUM. PREVIOUS SURVEYS OF THIS AREA CONDUCTED BY OUR FIRM AND OTHER CONSULTANTS HAVE BEEN CONDUCTED BASED UPON NGVD 29 DATUM. SPECIAL CARE SHOULD BE EXERCISED WHEN COMPARING ELEVATIONS FROM THIS SURVEY TO PREVIOUS SURVEYS, PLANS AND AS-BUILT DOCUMENTS.
8. THE PROPERTY SURVEYED HEREON HAS A ZONE X DESIGNATION WHICH IS FURTHER DESCRIBED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" BASED UPON REVIEW OF THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAPS, PANEL 332 OF 825, DATED SEPTEMBER 26, 2008.
9. THE PROPERTY SURVEYED HEREON IS SUBJECT TO THE CONDITIONS SET FORTH IN THE RECORD PLAT OF TRACT 1, SUNSET MEMORIAL PARK CONCERNING THE CONFIGURATION, SIZE OF THE PREVIOUSLY PLATTED LOTS AND BLOCKS, AND PROPERTY RIGHTS ESTABLISHED BY THE PRECEDING PLATS. THIS SURVEY REPRESENTS THE OVERALL EXTERIOR BOUNDARY OF SUNSET MEMORIAL PARK CEMETERY.




SHEET KEY MAP

NOT TO SCALE

SURVEYORS CERTIFICATION
I, CHARLES G. CALA, JR., NEW MEXICO PROFESSIONAL SURVEYOR NO. 11184, DO HEREBY CERTIFY THAT THIS BOUNDARY, PARTIAL TOPOGRAPHIC AND UTILITY SURVEY AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CHARLES G. CALA, JR., NMPS 11184				DATE	
SURVEYED BY	R.C.W.	DATE	BY	REVISIONS	JOB NO
DRAWN BY	T.N.T.				2014.042.3
APPROVED BY	C.G.C.				10-2014
SHEET	DF				1 5



SITE PLAN CHECKLIST

Project #: _____ Application #: _____

MDP

This checklist will be used to verify the completeness of ~~MP~~ plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS
SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED
PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT
REJECTION OF THE APPLICATION OR IN
A DELAY OF ONE MONTH OR MORE IN THE DATE THE
APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be additional information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

N/A E. Off-Street Loading

- 1. Location and dimensions of all off-street loading areas

N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

N/A A. Locate and identify adjacent public and private streets and alleys.

- 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- 3. Location of traffic signs and signals related to the functioning of the proposal
- 4. Identify existing and proposed medians and median cuts
- 5. Sidewalk widths and locations, existing and proposed
- 6. Location of street lights
- 7. Show and dimension clear sight triangle at each site access point
- 8. Show location of all existing driveways fronting and near the subject site.

N/A B. Identify Alternate transportation facilities within site or adjacent to site

- 1. Bikeways and bike-related facilities
- 2. Pedestrian trails and linkages
- 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

N/A 1. Scale - must be same as scale on sheet #1 - Site plan

N/A 2. Bar Scale

N/A 3. North Arrow

N/A 4. Property Lines

N/A 5. Existing and proposed easements

N/A 6. Identify nature of ground cover materials

- A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
- B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
- C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

N/A 7. Identify type, location and size of plantings (common and/or botanical names).
 A. Existing, indicating whether it is to be preserved or removed.
 B. Proposed, to be established for general landscaping.
 C. Proposed, to be established for screening/buffering.

N/A 8. Describe irrigation system – Phase I & II . . .

N/A 9. Planting Beds, indicating square footage of each bed

N/A 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.

N/A 11. Responsibility for Maintenance (statement)

N/A 12. Landscaped area requirement; square footage and percent (specify clearly on plan)

N/A 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)

N/A 14. Planting or tree well detail

N/A 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)

N/A 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements

N/A 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

N/A 1. Scale - must be same as Sheet #1 - Site Plan

N/A 2. Bar Scale

N/A 3. North Arrow

N/A 4. Property Lines

N/A 5. Existing and proposed easements

N/A 6. Building footprints

N/A 7. Location of Retaining walls

B. Grading Information

N/A 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.

N/A 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

N/A 3. Identify ponding areas, erosion and sediment control facilities.

N/A 4. Cross Sections
 Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

N/A A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
N/A B. Distribution lines
N/A C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
N/A D. Existing water, sewer, storm drainage facilities (public and/or private).
N/A E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

N/A A. Scale
N/A B. Bar Scale
N/A C. Detailed Building Elevations for each facade
 ___ 1. Identify facade orientation
 ___ 2. Dimensions of facade elements, including overall height and width
 ___ 3. Location, material and colors of windows, doors and framing
 ___ 4. Materials and colors of all building elements and structures
 ___ 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

N/A 1. Site location(s)
N/A 2. Sign elevations to scale
N/A 3. Dimensions, including height and width
N/A 4. Sign face area - dimensions and square footage clearly indicated
N/A 5. Lighting
N/A 6. Materials and colors for sign face and structural elements.
N/A 7. List the sign restrictions per the IDO

NEIGHBORHOOD INFORMATION

Lane Lubber

From: Quevedo, Vicente M. <quevedo@cabq.gov>
To: Lubber, Lane
Subject: Neighborhood Meeting Inquiry_Smith Blvd. and Mensal Blvd. N.E._EPC
Attachments: 6.13.2019_Sunset Mesa Park_Zone Atlas Sheet.pdf; Neighborhood Meeting Inquiry_Smith Blvd. and Mensal Blvd. N.E._EPC.xlsx

Lane,

See list of associations below and attached regarding your EPC submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Addr
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 7
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Cam NW
Martineztown Work Group	Rosalie	Martinez	rosalimartinez06@gmail.com	507 Roser
Martineztown Work Group	Loretta	Naranjo Lopez	Injalopez@msn.com	1127 Wall
Santa Barbara Martineztown NA	Ian	Colburn	colburn.ian@gmail.com	1002 Arne
Santa Barbara Martineztown NA	Loretta	Naranjo Lopez	Injalopez@msn.com	1127 Wall
Semillas y Raices Neighborhood Community Group	Carol	Krause	ckrause95@yahoo.com	800 Mour
Semillas y Raices Neighborhood Community Group	Monique	Bell	s33dsnroots@gmail.com	1113 Edith NE

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** ISD WebMaster
Sent: Thursday, June 13, 2019 8:16 AM
To: Office of Neighborhood Coordination <lledbetter@cprastudio.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Lane Ledbetter

Telephone Number

720-273-4684

Email Address

lledbetter@cprastudio.com

Company Name

CPRA Studio

Company Address

4612 West Hayward Place

City

Denver

State

CO

ZIP

80212

Legal description of the subject site for this project:

Tract 1, Sunset Memorial Park

Physical address of subject site:

Sunset Memorial Park, 924 Menaul Blvd. N.E., Albuquerque, NM 87107

Subject site cross streets:

Edith Blvd. and Menaul Blvd. N.E.

Other subject site identifiers:

Northwest corner of I-25 and I-40

This site is located on the following zone atlas page:

H-15-Z

This message has been analyzed by Deep Discovery Email Inspector.

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 19, 2013 5:51 PM
To: s33enviro@gmail.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Monique Bell_SJR_Sunset MDP.pdf; 6.19.2013_Sunset MDP_Neighborhood Mtg.pdf; 6.19.2013_Sunset Mem. Park_Zone Alter Sheet.pdf

Ms. Bell,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



cemetery planning
resource alliance

cpra studio llc
9635 north rampart range road
littleton, co 80125

p: 303.683.5917

www.cprastudio.com

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June 19, 2019

[Date]

Monique Bell, Semillas y Raices Neighborhood Comm. Gr.

[Name of Neighborhood Representative, Neighborhood Association]

s33dsnroots@gmail.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:
Master Development Plan

[Application(s) per Table 6-1-1 in the IDO (e.g. "Conditional Use")]

This would be an informal meeting where the Agent [Agent/Developer/
Property Owner] would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/Developer/Property Owner, if different from Contact Name above]

Project proposes phased development of additional burial sections, cremation areas, mausoleums, and related landscapes adjacent to similar facilities on existing cemetery property.

[Short Description of Proposal]

Per the IDO, you have 15 days from the date of this letter to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on this date:

July 25, 2019

[Anticipated Submittal Date]

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled or provide a few alternative dates that fall within 30 days of your response to this letter.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing *[hearing/meeting]* at which the project will be reviewed and decided by the City.

Attachments (if any):

Overall Map - Proposed Development, Master Development Plan

Zone Atlas Map

Useful Links

Integrated Development Ordinance (IDO):

<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Martineztown Work Group

Cc: Santa Barbara Martineztown N.A.

Semillas y Raices Neighborhood Community Group

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 19, 2019 9:49 PM
To: lkrause01@yahoo.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Carol Krause_SyR_Sunset MDP.pdf, 6.19.2019_Sunset MDP_Neighborhood Mtg.pdf, 6.19.2019_Sunset Mem. Park_Zone Atlas Sheet.pdf

Ms. Krause,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



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June 19, 2019

[Date]

Carol Krause, Semillas y Raices Neighborhood Comm. Gr.

[Name of Neighborhood Representative, Neighborhood Association]

ckrause@yahoo.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:
Master Development Plan

[Application(s) per Table 6-1-1 in the IDO (e.g. "Conditional Use")]

This would be an informal meeting where the Agent [Agent/Developer/
Property Owner] would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

Project proposes phased development of additional burial sections, cremation areas, mausoleums, and related landscapes adjacent to similar facilities on existing cemetery property.

[Short Description of Proposal]

Per the IDO, you have 15 days from the date of this letter to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on this date:

July 25, 2019

[Anticipated Submittal Date]

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled or provide a few alternative dates that fall within 30 days of your response to this letter.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing *[hearing/meeting]* at which the project will be reviewed and decided by the City.

Attachments (if any):

Overall Map - Proposed Development, Master Development Plan

Zone Atlas Map

Useful Links

Integrated Development Ordinance (IDO):

<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/ID Ozoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Martineztown Work Group

Cc: Santa Barbara Martineztown N.A.

Semillas y Raíces Neighborhood Community Group

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 19, 2019 5:43 PM
To: lnlopez@ix.netcom.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Loretta Lopez_MWG_Sunset MDP.pdf, 6.19.2019_Sunset MDP_Neighborhood Mtg.pdf, 6.19.2019_Sunset Menl. Park_Zone Atlas Sheet.pdf

Ms. Loretta Naranjo Lopez,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



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cpra studio llc
9635 north rampart range road
littleton, co 80125

p: 303.683.5917

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June 19, 2019

[Date]

SANTA BARBARA - MARTINEZ TOWN
Loretta Naranjo Lopez, Martineztown Work Group N.A.

[Name of Neighborhood Representative, Neighborhood Association]

Injalopez@msn.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:

Master Development Plan

[Application(s) per Table 6-1-1 in the IDO (e.g. "Conditional Use")]

This would be an informal meeting where the Agent [Agent/ Developer/ Property Owner] would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

Project proposes phased development of additional burial sections, cremation areas, mausoleums, and related landscapes adjacent to similar facilities on existing cemetery property.

[Short Description of Proposal]

Per the IDO, you have 15 days from the date of this letter to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on this date:

July 25, 2019

[Anticipated Submittal Date]

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled or provide a few alternative dates that fall within 30 days of your response to this letter.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing *[hearing/meeting]* at which the project will be reviewed and decided by the City.

Attachments (if any):

Overall Plan - Proposed Development, Master Development Plan

Zone Atlas Map

Useful Links

Integrated Development Ordinance (IDO):

<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Santa Barbara Martineztown NA

Cc: Semillas y Raices Neighborhood Community Group
North Valley Coalition

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 15, 2011 5:32 PM
To: cpranorton@yahoo.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Peggy Norton JWC_Sunset MDP.pdf, 6.19.2011_Sunset MDP_Neighborhood Mtg.pdf, 6.19.2011_Sunset Mem. Park_Zone Atlas Sheet.pdf

Ms. Norton,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



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resource alliance

cpra studio llc
9635 north rampart range road
littleton, co 80125

p: 303.683.5917

www.cprastudio.com

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June 19, 2019

[Date]

Peggy Norton, North Valley Coalition

[Name of Neighborhood Representative, Neighborhood Association]

peggynorton@yahoo.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:

Master Development Plan

[Application(s) per Table 6-1-1 in the IDO (e.g. "Conditional Use")]

This would be an informal meeting where the Agent [Agent/Developer/
Property Owner] would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

Project proposes phased development of additional burial sections, cremation areas, mausoleums, and related landscapes adjacent to similar facilities on existing cemetery property.

[Short Description of Proposal]

Per the IDO, you have 15 days from the date of this letter to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on this date:

July 25, 2019

[Anticipated Submittal Date]

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Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing *[hearing/meeting]* at which the project will be reviewed and decided by the City.

Attachments (if any):

Overall Map - Proposed Development, Master Development Plan

Zone Atlas Map

Useful Links

Integrated Development Ordinance (IDO):

<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Martineztown Work Group

Cc: Santa Barbara Martineztown N.A.

Semillas y Raíces Neighborhood Community Group

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 10, 2015 8:20 PM
To: msmteam007@gmail.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Rosalie Martinez_MWG_Sunset MDP.pdf; 6.10.2015_Sunset MDP_Neighborhood Map.pdf; 6.10.2015_Sunset Mem. Park_Zone Atlas Sheet.pdf

Ms. Martinez,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



cemetery planning
resource alliance

cpra studio llc
9635 north rampart range road
littleton, co 80125

p: 303.683.5917

www.cprastudio.com



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June 19, 2019

[Date]

Rosalie Martinez, Martineztown Work Group

[Name of Neighborhood Representative, Neighborhood Association]

rosalimartinez06@gmail.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:
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[Application(s) per Table 6-1-1 in the IDO (e.g. "Conditional Use")]

This would be an informal meeting where the Agent _____ [Agent/ Developer/ Property Owner] would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

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IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Martineztown Work Group

Cc: Santa Barbara Martineztown N.A.

Semillas y Raices Neighborhood Community Group

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 19, 2019 5:45 PM
To: colburn.rin@gmail.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Ian Colburn_Sunset MDP_Neighborhood Mtg.pdf; 6-19-2019_Sunset Menl Park_Zone Atlas Sheet.pdf

Mr. Colburn,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



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littleton, co 80125

p: 303.683.5917

www.cprastudio.com

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June 19, 2019

[Date]

Ian Colburn, Santa Barbara Martineztown NA

[Name of Neighborhood Representative, Neighborhood Association]

colburn.ian@gmail.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:

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Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

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[Short Description of Proposal]

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<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Santa Barbara Martineztown NA

Cc: Semillas y Raices Neighborhood Community Group
North Valley Coalition

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 10, 2015 5:37 PM
To: kmwthorpe@aol.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Doyle Kimbrough_JWC_Sunset MDP.pdf; 6.10.2015_Sunset MDP_Neighborhood Mtg.pdf; 6.19.2015_Sunset Mem Park_Zone Alloc Sheet.pdf

Mr. Kimbrough,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



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p: 303.683.5917

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June 19, 2019

[Date]

Doyle Kimbrough, North Valley Coalition

[Name of Neighborhood Representative, Neighborhood Association]

newmexmba@aol.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:

Master Development Plan

[Application(s) per Table 6-1-1 in the IDO (e.g. "Conditional Use")]

This would be an informal meeting where the Agent *[Agent/ Developer/ Property Owner]* would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

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Zone Atlas Map

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<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Martineztown Work Group
Santa Barbara Martineztown N.A.
Cc: Semillas y Raíces Neighborhood Community Group *[Other Neighborhood Associations, if any]*

Lane Lubber

From: Quevedo, Vicente M. <quevedo@cabq.gov>
To: Lubber, Lane
Subject: Neighborhood Meeting Inquiry_Smith Blvd. and Mensal Blvd. N.E._EPC
Attachments: 6.13.2019_Sunset Mesa Park_Zone Atlas Sheet.pdf; Neighborhood Meeting Inquiry_Smith Blvd. and Mensal Blvd. N.E._EPC.xlsx

Lane,

See list of associations below and attached regarding your EPC submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Addr
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 7
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Cam NW
Martineztown Work Group	Rosalie	Martinez	rosalimartinez06@gmail.com	507 Roser
Martineztown Work Group	Loretta	Naranjo Lopez	Injalopez@msn.com	1127 Wall
Santa Barbara Martineztown NA	Ian	Colburn	colburn.ian@gmail.com	1002 Arne
Santa Barbara Martineztown NA	Loretta	Naranjo Lopez	Injalopez@msn.com	1127 Wall
Semillas y Raices Neighborhood Community Group	Carol	Krause	ckrause95@yahoo.com	800 Mour
Semillas y Raices Neighborhood Community Group	Monique	Bell	s33dsnroots@gmail.com	1113 Edith NE

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** ISD WebMaster
Sent: Thursday, June 13, 2019 8:16 AM
To: Office of Neighborhood Coordination <lledbetter@cprastudio.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Lane Ledbetter

Telephone Number

720-273-4684

Email Address

lledbetter@cprastudio.com

Company Name

CPRA Studio

Company Address

4612 West Hayward Place

City

Denver

State

CO

ZIP

80212

Legal description of the subject site for this project:

Tract 1, Sunset Memorial Park

Physical address of subject site:

Sunset Memorial Park, 924 Menaul Blvd. N.E., Albuquerque, NM 87107

Subject site cross streets:

Edith Blvd. and Menaul Blvd. N.E.

Other subject site identifiers:

Northwest corner of I-25 and I-40

This site is located on the following zone atlas page:

H-15-Z

This message has been analyzed by Deep Discovery Email Inspector.

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 19, 2013 5:51 PM
To: s33enviro@gmail.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Monique Bell_SJR_Sunset MDP.pdf; 6.19.2013_Sunset MDP_Neighborhood Mtg.pdf; 6.19.2013_Sunset Mem. Park_Zone Alter Sheet.pdf

Ms. Bell,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



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9635 north rampart range road
littleton, co 80125

p: 303.683.5917

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June 19, 2019

[Date]

Monique Bell, Semillas y Raices Neighborhood Comm. Gr.

[Name of Neighborhood Representative, Neighborhood Association]

s33dsnroots@gmail.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:
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This would be an informal meeting where the Agent [Agent/Developer/
Property Owner] would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/Developer/Property Owner, if different from Contact Name above]

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[Short Description of Proposal]

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July 25, 2019

[Anticipated Submittal Date]

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Zone Atlas Map

Useful Links

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<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Martineztown Work Group
Santa Barbara Martineztown N.A.
Semillas y Raices Neighborhood Community Group *[Other Neighborhood Associations, if any]*

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 19, 2019 9:49 PM
To: lkrause01@yahoo.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Carol Krause_SyR_Sunset MDP.pdf, 6.19.2019_Sunset MDP_Neighborhood Mtg.pdf, 6.19.2019_Sunset Mem. Park_Zone Atlas Sheet.pdf

Ms. Krause,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



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p: 303.683.5917

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June 19, 2019

[Date]

Carol Krause, Semillas y Raices Neighborhood Comm. Gr.

[Name of Neighborhood Representative, Neighborhood Association]

ckrause@yahoo.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:
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This would be an informal meeting where the Agent [Agent/Developer/
Property Owner] would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

[Name]

lledbetter@cprastudio.com

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

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<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/ID Ozoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Martineztown Work Group

Cc: Santa Barbara Martineztown N.A.

Semillas y Raíces Neighborhood Community Group

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 19, 2019 5:43 PM
To: lopezlo@ix.netcom.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Loretta Lopez_MWG_Sunset MDP.pdf, 6.19.2019_Sunset MDP_Neighborhood Mtg.pdf, 6.19.2019_Sunset Menl. Park_Zone Atlas Sheet.pdf

Ms. Loretta Naranjo Lopez,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



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p: 303.683.5917

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June 19, 2019

[Date]

SANTA BARBARA - MARTINEZTOWN
Loretta Naranjo Lopez, Martineztown Work Group N.A.

[Name of Neighborhood Representative, Neighborhood Association]

Injalopez@msn.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

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Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

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IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Santa Barbara Martineztown NA

Cc: Semillas y Raices Neighborhood Community Group
North Valley Coalition

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 15, 2011 5:32 PM
To: cpranorton@yahoo.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Peggy Norton JWC_Sunset MDP.pdf, 6.19.2011_Sunset MDP_Neighborhood Mtg.pdf, 6.19.2011_Sunset Mem. Park_Zone Atlas Sheet.pdf

Ms. Norton,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



cemetery planning
resource alliance

cpra studio llc
9635 north rampart range road
littleton, co 80125

p: 303.683.5917

www.cprastudio.com

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June 19, 2019

[Date]

Peggy Norton, North Valley Coalition

[Name of Neighborhood Representative, Neighborhood Association]

peggynorton@yahoo.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:

Master Development Plan

[Application(s) per Table 6-1-1 in the IDO (e.g. "Conditional Use")]

This would be an informal meeting where the Agent [Agent/Developer/
Property Owner] would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

Project proposes phased development of additional burial sections, cremation areas, mausoleums, and related landscapes adjacent to similar facilities on existing cemetery property.

[Short Description of Proposal]

Per the IDO, you have 15 days from the date of this letter to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on this date:

July 25, 2019

[Anticipated Submittal Date]

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled or provide a few alternative dates that fall within 30 days of your response to this letter.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing *[hearing/meeting]* at which the project will be reviewed and decided by the City.

Attachments (if any):

Overall Map - Proposed Development, Master Development Plan

Zone Atlas Map

Useful Links

Integrated Development Ordinance (IDO):

<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Martineztown Work Group

Cc: Santa Barbara Martineztown N.A.

Semillas y Raíces Neighborhood Community Group

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 10, 2015 8:20 PM
To: msmteam007@gmail.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Rosalie Martinez_MWG_Sunset MDP.pdf; 6.10.2015_Sunset MDP_Neighborhood Map.pdf; 6.10.2015_Sunset Mem. Park_Zone Atlas Sheet.pdf

Ms. Martinez,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



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resource alliance

cpra studio llc
9635 north rampart range road
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June 19, 2019

[Date]

Rosalie Martinez, Martineztown Work Group

[Name of Neighborhood Representative, Neighborhood Association]

rosalimartinez06@gmail.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:
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[Application(s) per Table 6-1-1 in the IDO (e.g. "Conditional Use")]

This would be an informal meeting where the Agent _____ [Agent/ Developer/ Property Owner] would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

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[Anticipated Submittal Date]

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Zone Atlas Map

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<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Martineztown Work Group

Cc: Santa Barbara Martineztown N.A.

Semillas y Raices Neighborhood Community Group

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 19, 2019 5:45 PM
To: colburn.rin@gmail.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Ian Colburn_Sunset MDP_Neighborhood Mtg.pdf; 6-19-2019_Sunset Mem. Park_Zone Atlas Sheet.pdf

Mr. Colburn,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



cemetery planning
resource alliance

cpra studio llc
9635 north rampart range road
littleton, co 80125

p: 303.683.5917

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June 19, 2019

[Date]

Ian Colburn, Santa Barbara Martineztown NA

[Name of Neighborhood Representative, Neighborhood Association]

colburn.ian@gmail.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:

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[Application(s) per Table 6-1-1 in the IDO (e.g. "Conditional Use")]

This would be an informal meeting where the Agent *[Agent/ Developer/ Property Owner]* would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

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<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Santa Barbara Martineztown NA

Cc: Semillas y Raices Neighborhood Community Group
North Valley Coalition

[Other Neighborhood Associations, if any]

Lane Ledbetter

From: Lane Ledbetter
Sent: Wednesday, June 10, 2015 5:37 PM
To: kmwthorpe@aol.com
Subject: Neighborhood Meeting - Sunset Memorial Park
Attachments: Doyle Kimbrough_JWC_Sunset MDP.pdf; 6.10.2015_Sunset MDP_Neighborhood Mtg.pdf; 6.19.2015_Sunset Mem Park_Zone Alloc Sheet.pdf

Mr. Kimbrough,

Please find the attached documents regarding the opportunity for you to discuss the proposed Master Development Plan for Sunset Memorial Park on Menaul in Albuquerque. Please contact me if you have any questions.

Thank you,

Lane Ledbetter, ASLA, RLA



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resource alliance

cpra studio llc
9635 north rampart range road
littleton, co 80125

p: 303.683.5917

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June 19, 2019

[Date]

Doyle Kimbrough, North Valley Coalition

[Name of Neighborhood Representative, Neighborhood Association]

newmexmba@aol.com

[Address of Neighborhood Representative]

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:

Master Development Plan

[Application(s) per Table 6-1-1 in the IDO (e.g. "Conditional Use")]

This would be an informal meeting where the Agent *[Agent/ Developer/ Property Owner]* would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Lane Ledbetter

lledbetter@cprastudio.com

[Name]

[Phone Number and/or Email]

Project or Development Proposal

Cemetery Master Development Plan - Sunset Memorial Park

[Site Address and/or Location]

924 Menaul Blvd. N.E., Albuquerque, NM 87104

[Name(s) of Agent/ Developer/Property Owner, if different from Contact Name above]

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Zone Atlas Map

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<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Agent

[Agent/Property Owner/Developer]

Martineztown Work Group
Santa Barbara Martineztown N.A.
Cc: Semillas y Raíces Neighborhood Community Group *[Other Neighborhood Associations, if any]*

**List of Neighborhood Associations and Representatives Contacted for
Sunset Memorial Park MDP Application**

Indicates representatives in attendance at meeting:

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441364
Martineztown Work Group	Rosalie	Martinez	rosalimartinez06@gmail.com	507 Rosemont NE	Albuquerque	NM	87102	5054174004	
Martineztown Work Group	Loretta	Naranjo Lopez	Injalopez@msn.com	1127 Walter NE	Albuquerque	NM	87102	5052707716	
Santa Barbara Martineztown NA	Ian	Colburn	colburn.ian@gmail.com	1002 Arno NE	Albuquerque	NM	87102	5055804953	
Santa Barbara Martineztown NA	Loretta	Naranjo Lopez	Injalopez@msn.com	1127 Walter NE	Albuquerque	NM	87102	5052707716	
Semillas y Raices Neighborhood C. G.	Carol	Krause	ckrause95@yahoo.com	800 Mountain Road NE	Albuquerque	NM	87102	5055070673	
Semillas y Raices Neighborhood C. G.	Monique	Bell	s33dsnroots@gmail.com	1113 Edith Boulevard NE	Albuquerque	NM	87102	5053190839	5056203100

List of Neighborhood Associations and Contacts for Sunset Memorial Park MDP Application

Association Name	First Name	Last Name
North Valley Coalition	Peggy	Norton
North Valley Coalition	Doyle	Kimbrough
Martineztown Work Group	Rosalie	Martinez
Martineztown Work Group	Loretta	Naranjo Lopez
Santa Barbara Martineztown NA	Ian	Colburn
Santa Barbara Martineztown NA	Loretta	Naranjo Lopez
Semillas y Raices Neighborhood Community Group	Carol	Krause
Semillas y Raices Neighborhood Community Group	Monique	Bell

Email	Address Line 1	City	State	Zip	Mobile Phone
peggynorton@yahoo.com	P.O. Box 70232	Albuquerque	NM	87197	5058509293
newmexmba@aol.com	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938
rosalimartinez06@gmail.com	507 Rosemont NE	Albuquerque	NM	87102	5054174004
Injalopez@msn.com	1127 Walter NE	Albuquerque	NM	87102	5052707716
colburn.ian@gmail.com	1002 Arno NE	Albuquerque	NM	87102	5055804953
Injalopez@msn.com	1127 Walter NE	Albuquerque	NM	87102	5052707716
ckrause95@yahoo.com	800 Mountain Road NE	Albuquerque	NM	87102	5055070673
s33dsnroots@gmail.com	1113 Edith Boulevard NE	Albuquerque	NM	87102	5053190839

**Neighborhood Meeting
Master Development Plan
Sunset Memorial Park
CPRA Studio 7.19.2019**

I. Meeting Sign-Up Sheet

1. Meeting Location

Sunset Memorial Park

2. Meeting date and time

Friday July 19, 2019.

3. Meeting Attendees

Name

Email

Phone

Chris Koen christekoen@gmail.com (505) 681-9838
Leanna Mwangi LeannaMwangi@gmail.com (505) 270-7716

II. Graphic Materials for Discussion (11 x 17 documents provided)

Brief explanations of the existing and proposed cemetery improvements.

1. Existing Development Plan (listed chronologically by development)

- Centennial Urn Garden (Phase I & II) – *niche courts and gardens*
- Best Friends Forever Pet Section – *pet and pet/human garden*
- Plaza Esperanza – *committal shelter, graves, and cremation*
- Pueblo Esperanza – *mausoleum, kiva ossuary, niche courts, garden*
- Crematory Building – *new improved crematory building*
- Camino Encantado – *Niche courts, graves, and garden*
- Section 28 – *additional graves and future niches*

2. Existing Development Images

- Images showing the same projects as listed above

3. Proposed Development Plan (projects listed as shown from left to right on the plan)

- Camino Encantado Phase II – *committal space, niches, and crypts*
- Perimeter Niches and Security Fencing – *niches and fencing*
- Sunset House – *family and company uses*
- Operations and Maintenance Compound – *consolidation*
- Block 28 Expansion – *graves and niches*
- Block 28 Improvements – *niches and entry feature*
- Pueblo Esperanza Expansion – *mausoleums, niche courts, gardens*
- Future Development (beyond 10 years) – *mausoleums, niche courts, gardens*

III. Design Guidelines for Discussion (8.5 x 11 document provided)

Based on the City requirement to provide design guidelines for future development in the Master Development Plan process. Brief explanation of the categories of the design guidelines.

1. Site Development

****Intended to insure that new site developments make best use of existing ground and match development styles, materials, and layouts of existing developments.*

A. Site Development

- Land Use: no change; same since cemetery opened in 1929
- Access: no change

B. Grading and Drainage

- Fix drainage problems

- Control and harvest runoff
- C. Site Signage
 - To match existing style
- D. Private Roads
 - No new roads proposed; to match existing if needed
- E. Parking
 - Limited new small parking areas proposed; street parking elsewhere
- F. Sidewalks and Plazas
 - To match existing improvements
- G. Outdoor Lighting
 - Staff safety and security only; no other lighting
- H. Site Utilities
 - Meet City requirements
- I. Fencing and Gates
 - To match existing improvements

II. Buildings and Site Structures

****Intended to insure that new building developments meet city requirements and match development styles, materials, and layouts of existing developments.*

- A. Buildings
 - Match existing mausoleum development
- B. Site Structures
 - Match existing improvements
- C. Architectural Style
 - Match "Pueblo Revival" style of existing development
- D. Materials and Construction
 - Match existing materials, colors, and construction techniques

III. Landscape Development

****Intended to insure that new landscape plantings provide attractive, water-wise plantings that match existing plantings and layouts to enhance the arboretum landscape being developed at Sunset.*

- A. Specialty Cemetery Landscapes
 - Turf and ornamental plantings for additional grave plots and cremation gardens
- B. Site Amenities
 - Benches, litter receptacles, water stations, and garden signage
- C. Landscape Plantings
 - Provide hardy, native New Mexico plants
 - Provide low water-use plants
 - Provide 4-season plant interest
 - Create shade and screening
 - Properly irrigate and maintain plantings

IV. Meeting Comments and Responses

Attendee Comments / Sunset Responses

Loretta loves the design. Didn't know we had all of this here. Was thrilled to know we will be ensuring its care and beauty forever.

Loved that it is an available resource for the community.

- Walking / jogging / pet walking.
- Meetings
- Events.

- Wants me to speak at an upcoming neighborhood mtg.

- Would love to hold some of their meetings at Sunset House.

Neighborhood Association Meeting Report

Master Development Plan Requirements

Sunset Memorial Park, Albuquerque, NM

Report Prepared by CPRA Studio, Cemetery Planners 7.22.2019

Note: Per City of Albuquerque Integrated Development Ordinance (CABQ IDO) requirements, CPRA staff requested contact information from the CABQ Neighborhood Liaison Office for the neighborhood associations representing those that may be affected by the proposed cemetery developments listed in the Master Development Plan (MDP) at Sunset Memorial Park (SMP). CPRA reached out to two contacts for the four groups and received a request from one, the **Santa Barbara Martineztown Neighborhood Association (SBMTNA)**, to meet and discuss the proposed development at their monthly meeting on July 11, 2019.

Due to confusion over the scheduling and confirmation of the initial meeting, CPRA and SMP did not attend. **This** report represents the summary of discussions from the meeting that was rescheduled for Friday, July 19, still within the 30-day time period requirement of the IDO. (Refer to attachments listing IDO-required scheduling information.)

Location of Meeting: Sunset House and On-Site Visit
Sunset Memorial Park
924 Menaul Boulevard, NE
Albuquerque, NM 87107

Date and Time: Friday, July 19, 2019, 10:00 AM

Attendees: Loretta Naranjo-Lopez
Santa Barbara Martineztown Neighborhood Association
E: lnjlopez@msn.com, P: 505-270-7216

Chris Keller, President
Sunset Memorial Park
E: chrisk@frenchfunerals.com, P: 505-515-3707

SUMMARY OF DISCUSSIONS

Chris Keller (CK) from Sunset Memorial Park (SMP) met with Loretta Naranjo-Lopez (LN-L) from the Santa Barbara Martineztown Neighborhood Association (SBMTNA) to discuss the recent improvements made at the cemetery and the proposed improvements for future developments listed in the MDP documents. (Refer to attached documents showing plans, images, and design guidelines for existing and proposed improvements.)

Existing Cemetery Developments.

CK used plan and image board graphics to explain existing cemetery improvements made in the last several years in terms of their specific type, size, location, design style, and construction materials used. CK described the "Pueblo Revival" design style used and noted the various cremation gardens, grave burial sections, niche courts, mausoleums, committal shelters, and other improvements built at the cemetery in the last several years.

Proposed Cemetery Developments

CK used a graphic plan to describe the proposed cemetery improvements in terms of their expected general type, approximate sizes, and probable locations on the property. CK noted that no designs were final yet but that they would follow the previous design style and material standards set in the existing developments and SMP's design guidelines required by the IDO.

Cemetery Design Guidelines

CK discussed the required design guidelines in terms of how they will direct the design of proposed future cemetery improvements, including categories for design of site development, buildings and site structures, and landscape improvements. |

Concerns Raised

1. LN-L had no concerns over the existing or proposed developments or design guidelines for SMP.

Areas of Agreement / Disagreement

1. LN-L noted that she agreed with the overall design of the existing and proposed cemetery developments.
2. LN-L had no disagreements with the proposed cemetery improvements.

Next Steps and Accommodations

1. No additional steps or accommodations are required.

Additional Discussion Points

1. LN-L noted she was had not previously been aware of the recent SMP improvements.
2. LN-L noted that she was pleased to hear that the SMP is an endowed care cemetery and that the grounds and facilities will be maintained forever.
3. While this meeting satisfied the CABQ IDO requirements, LN-L requested Chris Keller to make an informational presentation about the cemetery to the SBMTNA at some point in the future. CK agreed to do so.
4. Chris Keller (CK) noted that the facilities at the cemetery are a community resource and available for use by the neighborhood and community. These could include walking the grounds for exercise, meetings, and gatherings/events.
5. LN-L was pleased to hear that SMP was available for other uses and noted that the SBMTNA may consider it as a venue for one of their upcoming meetings.

MANSOOR SHAHID & MAHAM
311 DESERT SUN CT
ALAMOGORDO NM 88310

CAMPOS PETER & LORI ANNE
418 RAYNOLDS AVE
LAS VEGAS NM 87701

SAITTA BRIAN D
601 MENAUL BLVD NE UNIT 4403
ALBUQUERQUE NM 87107-1540

MCCALLISTER KYLE
601 MENAUL BLVD NE UNIT 4401
ALBUQUERQUE NM 87107

GABALDON BERLINDA
601 MENAUL BLVD NE UNIT 4402
ALBUQUERQUE NM 87107-1539

GOOCH STEVEN D & GOOCH RONDA LEE
TRUSTEE GOOCH RVT
601 MENAUL BLVD NE UNIT 4404
ALBUQUERQUE NM 87107-1541

GATER WILLIAM H
601 MENAUL BLVD NE UNIT 4502
ALBUQUERQUE NM 87107-1545

COOK TRAVIS P
601 MENAUL BLVD NE UNIT 4501
ALBUQUERQUE NM 87107-1544

ARCHIBEQUE KAITLYN T & ARCHIBEQUE
MICHAEL A & DEBORAH L
601 MENAUL BLVD NE UNIT 4503
ALBUQUERQUE NM 87107-1546

VULCAN LANDS INC
1200 URBAN CENTER DR
BIRMINGHAM AL 35242-2545

TAGLIALEGAMI JANICE TRUSTEE
TAGLIALEGAMI RVT TRUST A & ETAL
404 CUTLER AVE NE
ALBUQUERQUE NM 87102-1100

MONTANO NEVIN D SR & MONICA C
10531 COYOTE CANYON PL NW
ALBUQUERQUE NM 87114-5949

MONTANO NEVIN D & MONICA C
10531 COYOTE CANYON PL NW
ALBUQUERQUE NM 87114-5949

T-MOBILE PCS HOLDINGS LLC
12920 SE 38TH ST
BELLEVUE WA 98006-1350

SUNSET MEMORIAL PARK INC
PO BOX 25063
ALBUQUERQUE NM 87125-0063

FORNEY LARRY L & JOYCE L
405 CUTLER NE
ALBUQUERQUE NM 87102-1143

MENAUL PROPERTIES LLC
1907 BUENA VISTA DR SE OFC 100
ALBUQUERQUE NM 87106-4246

TAGLIALEGAMI JANICE TR
TAGLIALEGAMI RVT TRUST A & ETAL
404 CUTLER AVE NE
ALBUQUERQUE NM 87102-1100

H & W ENTERPRISES LLC
PO BOX 91045
ALBUQUERQUE NM 87199-1045

GENDRON STEPHEN A & ELIZABETH
12120 APACHE AVE NE
ALBUQUERQUE NM 87112

GENDRON STEPHEN A & ELIZABETH
12120 APACHE AVE NE
ALBUQUERQUE NM 87112

SUNSET MEMORIAL PARK
PO BOX 25063
ALBUQUERQUE NM 87125-0063

SUNWEST MEMORIAL PARK INC
PO BOX 25063
ALBUQUERQUE NM 87125-0063

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

LOHMAN PARTNERS LLC & COLORADO
SPRINGS - MENAUL LLC C/O QUARLES &
BRADY
PO BOX 91090
ALBUQUERQUE NM 87199

MAYHEW WAREHOUSE LLC
4215 VIA DE LUNA NE
ALBUQUERQUE NM 87110-4955

FORNEY LARRY L & JOYCE L
405 CUTLER AVE NE
ALBUQUERQUE NM 87102-1143

LOYAL ORDER OF MOOSE LODGE #1517
2121 EDITH BLVD NE
ALBUQUERQUE NM 87102

GENDRON STEPHEN A & ELIZABETH
12120 APACHE AVE NE
ALBUQUERQUE NM 87112

LIFEROOTS INC
1111 MENAUL BLVD NE
ALBUQUERQUE NM 87107-1614

MONTANO NEVIN D SR & MONICA C
10531 COYOTE CANYON PL NW
ALBUQUERQUE NM 87114-5949

FORNEY LARRY L & JOYCE L
405 CUTLER AVE NE
ALBUQUERQUE NM 87102-1143

VULCAN LANDS INC
1200 URBAN CENTER DR
BIRMINGHAM AL 35242-2545

TAGLIALEGAMI JANICE TRUSTEE
TAGLIALEGAMI RVT TRUST A & ETAL
404 CUTLER AVE NE
ALBUQUERQUE NM 87102-1100

KB HOME NEW MEXICO INC
7807 E PEAKVIEW AVE SUITE 300
CENTENNIAL CO 80111-6849

CITY OF ALBUQUERQUE THE MENAUL
SCHOOL
PO BOX 1293
ALBUQUERQUE NM 87103-1293

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

August 29, 2019

TO WHOM IT MAY CONCERN:

This letter is to inform you of an upcoming public meeting scheduled with the City of Albuquerque Environmental Planning Commission to review an application for a Master Development Plan for a property in your area, as follows:

Property:

Sunset Memorial Park
924 Menaul Boulevard NE
Albuquerque, NM 87107

Approval Being Requested:

Sunset Memorial Park seeks approval of a Master Development Plan (MDP) proposing future incremental development of cemetery improvements on their property. Proposed improvements will include similar improvements to those already existing such as additional grave plot sections, cremation gardens, mausoleum buildings, committal shelters, support buildings, road and walkway improvements, and associated landscaping.

Time / Place of Meeting:

October 10, 2019, 8:30 AM
~~Vincent E. Griego Chambers at One Civic Plaza NW~~
~~(Albuquerque/Bernalillo County Government Center)~~

For additional information, contact:

Chris Keller, President
Sunset Memorial Park
505-515-3707
chrisk@frenchfunerals.com

Lane Ledbetter

From: Torres, Taryn <taryntorres@cabq.gov>
Sent: Tuesday, August 27, 2019 11:41:48
To: Lane Ledbetter
Subject: RE: Request for List of Neighboring Properties
Attachments: Manuel and Edith Labels.docx, Manuel and Edith Buffer map.pdf, Export10.xlsx

Lane,

Per your request please find the buffer map and property list attached.

Thanks,



TARYN TORRES
administrative assistant
urban design and development
o 505.924.3662
e taryntorres@cabq.gov
cabq.gov/planning

From: Lane Ledbetter <lledbetter@cprastudio.com>
Sent: Tuesday, August 27, 2019 11:13 AM
To: Torres, Taryn <taryntorres@cabq.gov>
Subject: Request for List of Neighboring Properties

Taryn,

With this email we are requesting from you a list of all neighboring property owners within the 100' buffer around Sunset Memorial Park in Albuquerque. Please find the attached Zone Atlas Map showing the location of the property.

Please contact me at 720-273-4684 with any questions.

Thanks for your help.

Lane Ledbetter, ASLA, RLA

City of Albuquerque



Legend

□ Bernalillo County Parcels



1,202

601

1,202 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
8/27/2019
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1:7,212

Notes

BUFFER 216 ft
ROW 116 ft Menaul

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guarantee as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.caabq.gov/aqc-data/aqc-data-disclaimer> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION